

DEVELOPMENT TEAM

APPLICANT
 PANDA RESTAURANT GROUP
 1683 WALNUT GROVE AVE.
 ROSEMEAD, CA 91770-3711
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Site Plan Review
Received: 07/17/2024
City of Kalamazoo

GOVERNING AGENCIES / UTILITY CONTACTS

PLANNING
 CITY OF KALAMAZOO
 PLANNING & ZONING DEPT.
 245 N. ROSE STREET, SUITE 100
 KALAMAZOO, MI 49007
 CONTACT: PETE ELDRIDGE
 PHONE: (269) 337-8806
 EMAIL: eldridgep@kalamazoozcity.org

ENGINEERING
 CITY OF KALAMAZOO
 245 N. ROSE STREET, SUITE 100
 KALAMAZOO, MI 49007
 PHONE: (269) 337-8000
 EMAIL: siteplan@kalamazoozcity.org

SANITARY SEWER
 CITY OF KALAMAZOO PUBLIC SERVICES
 241 W. SOUTH STREET
 KALAMAZOO, MI 49007
 CONTACT: SOHIL MANJIYANIS
 PHONE: (269) 337-8000
 EMAIL: manjiyanis@kalamazoozcity.org

SOIL EROSION
 CITY OF KALAMAZOO COMMUNITY PLANNING
 & ECONOMIC DEVELOPMENT
 245 N. ROSE STREET, SUITE 100
 KALAMAZOO, MI 49007
 PHONE: (269) 337-8000
 EMAIL: development@kalamazoozcity.org

STORMWATER
 KALAMAZOO COUNTY DRAIN COMMISSIONER
 201 WEST KALAMAZOO AVE.
 KALAMAZOO, MI 49007
 CONTACT: ERIC SAJTAR
 PHONE: (269) 384-8117
 EMAIL: sajtare@kalamazoozcity.org

RIGHT-OF-WAY
 MIICHIGAN DEPT. OF TRANSPORTATION
 5372 SOUTH 9TH STREET
 KALAMAZOO, MI 490001
 PHONE: (269) 375-8900

DATA / TELEPHONE
 T.B.D.
 CONTACT: T.B.D.
 PHONE: T.B.D.
 EMAIL: T.B.D.

WATER
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 241 W. SOUTH STREET
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GAS
 CONSUMERS ENERGY
 11801 FARMINGTON ROAD
 LIVONIA, MI 48150
 PHONE: (734) 524-6345
 EMAIL: steven.soria@cmsenergy.com

ELECTRIC
 CONSUMERS ENERGY
 11801 FARMINGTON ROAD
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SITE PLANS



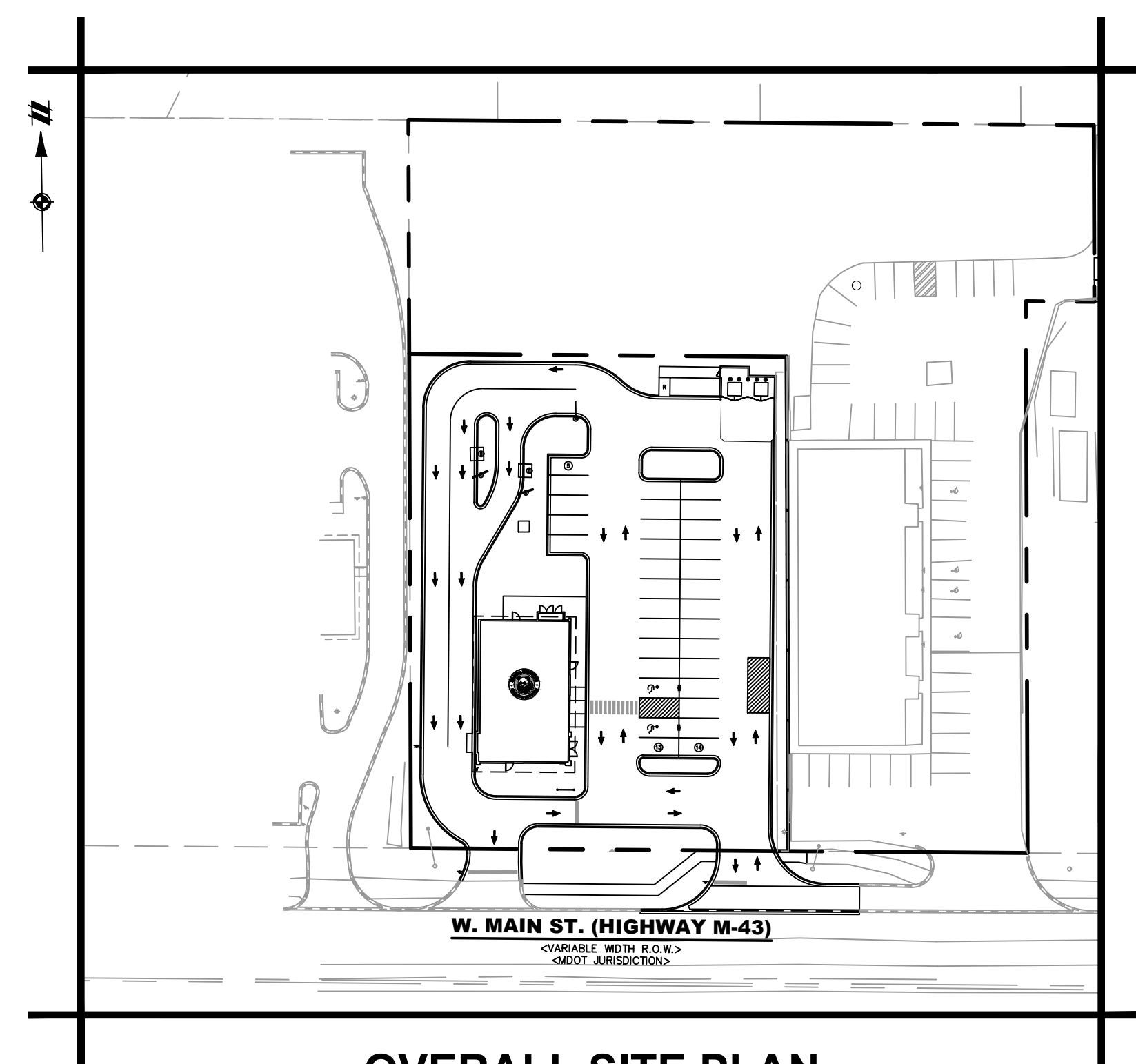
6910 EASTMAN AVE.
 CITY OF MIDLAND, MICHIGAN

PREPARED BY:

Atwell, LLC
 12745 23 Mile Road
 Shelby Township, Michigan
 48315
 Telephone: 586-786-9800

PREPARED FOR:

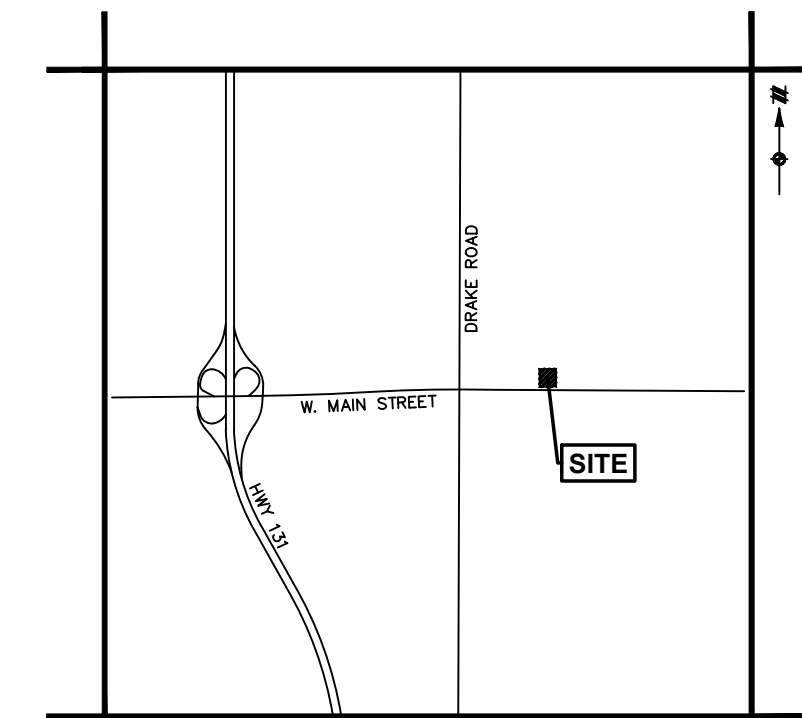
PANDA RESTAURANT GROUP INC.
 1683 Walnut Grove Ave.
 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288



OVERALL SITE PLAN
 NOT TO SCALE



REGIONAL MAP
 NOT TO SCALE



VICINITY MAP
 NOT TO SCALE

SHEET INDEX

- C00 COVER
- C01 LAYOUT PLAN
- C02 DEMOLITION PLAN
- C03 SESC PLAN
- C04 SESC DETAILS
- C05 PRELIMINARY GRADING PLAN
- C06 PRELIMINARY UTILITY PLAN
- C07 PRELIMINARY S.W.M. PLAN
- C08 PRELIMINARY LANDSCAPING PLAN
- C09 LANDSCAPING DETAILS

ATTACHED PLANS

- ALTA SURVEY
- ARCHITECTURAL PLANS
- PHOTOMETRIC PLANS
- SIGNAGE PLANS

SITE DATA

PARCEL ID#	GROSS AREA	ZONING
06-18-196-002	0.879 ACRES	CC2

HEIGHT	GROSS FLOOR AREA
23'-6"	2,700 SFT

PROPOSED	REQUIRED	FORMULA
35 SPACES	29 SPACES	1 SPACE/4 PERSONS AT MAX CAPACITY 1 SPACE/2 EMPLOYEES AT LARGEST SHIFT

PROPOSED	REQUIRED	FORMULA
TOTAL	2 SPACES	2 SPACES
		26-50 TOTAL SPACES

SETBACK	REQUIRED	PROVIDED
FRONT (SOUTH)	10'	33.0'
SIDE (EAST)	0'	31.4'
SIDE (WEST)	0'	62.9'
REAR (NORTH)	0'	45.5'

SETBACK	REQUIRED	PROVIDED
FRONT (SOUTH)	20'	48.5'
SIDE (EAST)	0'	98.1'
SIDE (WEST)	0'	29.5'
REAR (NORTH)	0'	105.9'

PROPOSED PARCEL DESCRIPTION

(SEE ALTA SURVEY FOR LEGAL DESCRIPTIONS)

PROJECT NARRATIVE

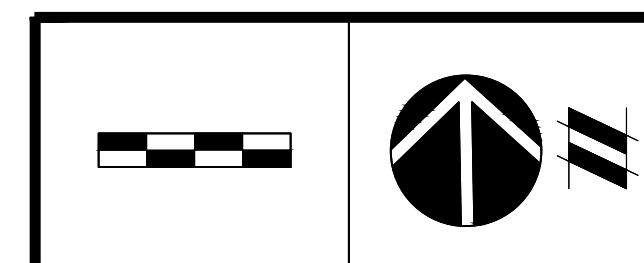
THIS PROJECT PROPOSES TO REDEVELOP AN EXISTING COMMERCIAL LOT IN ORDER TO CONSTRUCT A 2,700 SQUARE FOOT PANDA EXPRESS RESTAURANT WITH DRIVE-THRU.

24-HOUR CONTACT:
 PANDA PM



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OR OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



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REVISIONS:

NO.	DATE	DESCRIPTION

ISSUE DATE:

NO.	DATE	DESCRIPTION

DRAWN BY: RPF

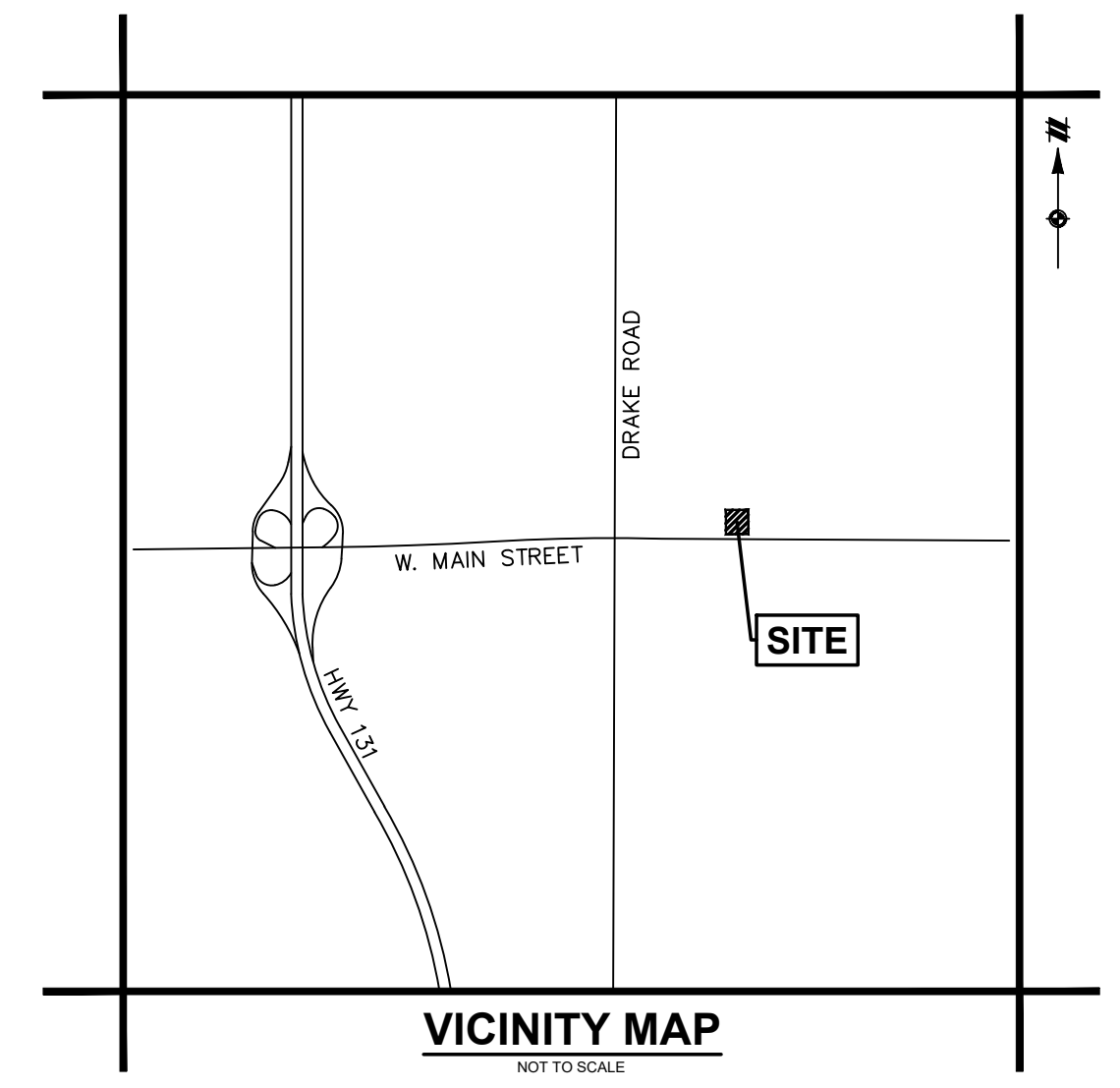
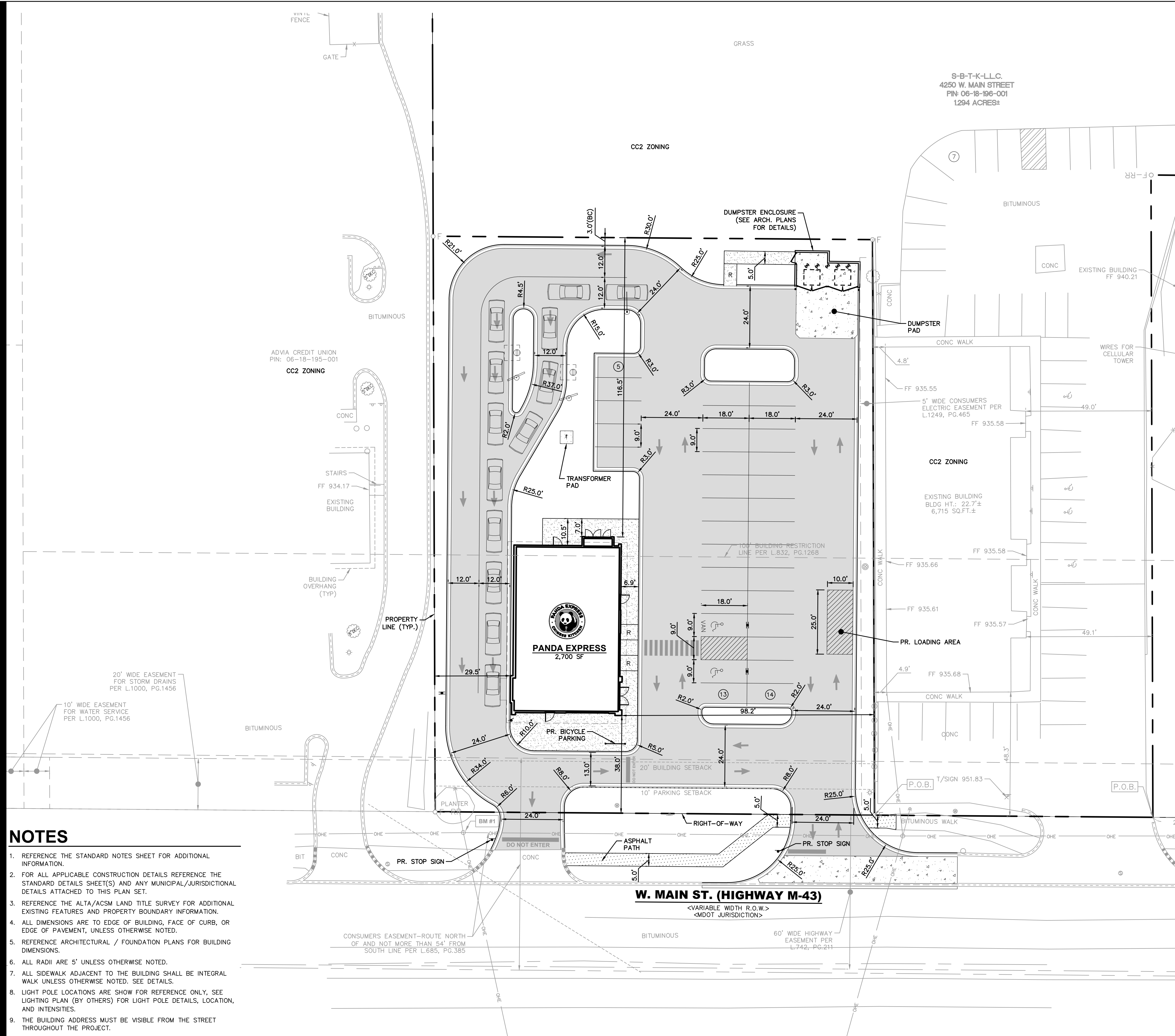
PANDA PROJECT #: D23353
 ARCH PROJECT #:
 ENG PROJECT #: 22006626



PANDA EXPRESS

4300 W. MAIN ST.
 KALAMAZOO, MI

C00
COVER



LEGEND

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- RIGHT-OF-WAY
- CONCRETE SIDEWALK
- CONCRETE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED ASPHALT WALKWAY
- PEDESTRIAN CROSSWALK
- TRAFFIC FLOW ARROWS
- PROPOSED SIGN
- PROPOSED DOUBLE-SIDED FIRE LANE SIGN
- PARKING ROW COUNT
- ACCESSIBLE PARKING SPACE
- PROPOSED LIGHT POLE
- EXISTING UTILITY POLE
- RAMP

SITE DATA

PARCEL SUMMARY

PARCEL ID#	GROSS AREA	ZONING
06-18-196-002	0.879 AC.	CC2

BUILDING DATA

HEIGHT	GROSS FLOOR AREA
23'-6"	2,700 SFT

GROSS LOT AREA: ±38,289 S.F. (100%)

BUILDING COVERAGE: ±2,700 S.F. (7.0%)

LANDSCAPE COVERAGE: ±7,924 S.F. (20.7%)

PARKING/DRIVE/SIDEWALK COVERAGE: ±27,665 S.F. (72.3%)

IMPERVIOUS AREA: ±30,365 S.F. (79.3%)

PERVIOUS AREA: ±7,924 S.F. (20.7%)

STANDARD PARKING DATA

PROPOSED	REQUIRED	FORMULA
32 SPACES	24 SPACES	*1 SPACE/4 PERSONS AT MAX CAPACITY
	5 SPACES	**1 SPACE/2 EMPLOYEES AT LARGEST SHIFT
	29 SPACES	

BICYCLE PARKING DATA

PROPOSED	REQUIRED	FORMULA
7 SPACES	7 SPACES	*1 SPACE/15 PERSONS AT MAX CAPACITY

ACCESSIBLE PARKING DATA

PROPOSED	REQUIRED	FORMULA
2 SPACES	2 SPACES	26-50 TOTAL SPACES

DRIVE-THRU STACKING DATA

USER	PROPOSED	REQUIRED	FORMULA
PANDA EXPRESS	12 SPACES	3 SPACES	3/EACH DRIVE-THRU WINDOW

LOADING DATA

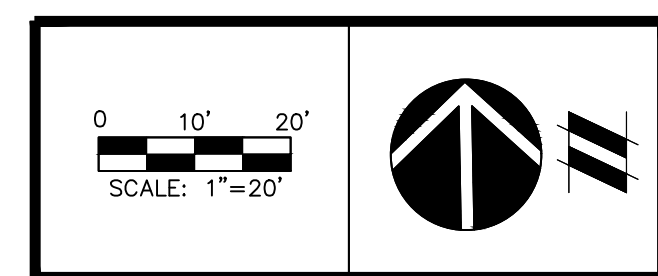
	PROPOSED	REQUIRED
LOADING AREA	(1) 10'x25'	(1) 10'x25'

NOTES

1. REFERENCE THE STANDARD NOTES SHEET FOR ADDITIONAL INFORMATION.
2. FOR ALL APPLICABLE CONSTRUCTION DETAILS REFERENCE THE STANDARD DETAILS SHEET(S) AND ANY MUNICIPAL/JURISDICTIONAL DETAILS ATTACHED TO THIS PLAN SET.
3. REFERENCE THE ALTA/ACSM LAND TITLE SURVEY FOR ADDITIONAL EXISTING FEATURES AND PROPERTY BOUNDARY INFORMATION.
4. ALL DIMENSIONS ARE TO EDGE OF BUILDING, FACE OF CURB, OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
5. REFERENCE ARCHITECTURAL / FOUNDATION PLANS FOR BUILDING DIMENSIONS.
6. ALL RADI ARE 5' UNLESS OTHERWISE NOTED.
7. ALL SIDEWALK ADJACENT TO THE BUILDING SHALL BE INTEGRAL WALK UNLESS OTHERWISE NOTED. SEE DETAILS.
8. LIGHT POLE LOCATIONS ARE SHOW FOR REFERENCE ONLY. SEE LIGHTING PLAN (BY OTHERS) FOR LIGHT POLE DETAILS, LOCATION, AND INTENSITIES.
9. THE BUILDING ADDRESS MUST BE VISIBLE FROM THE STREET THROUGHOUT THE PROJECT.
10. FIRE TRUCK ACCESS IS REQUIRED THROUGHOUT CONSTRUCTION.

SITE BENCHMARKS

- BENCHMARK 1
SET BENCH TIE IN EAST FACE OF UTILITY POLE LOCATED IN NORTH RIGHT OF WAY MAIN STREET
ELEVATION: 935.19' (NAVD88)
- BENCHMARK 2
SET RAILROAD SPIKE IN NORTH FACE OF UTILITY POLE LOCATED IN SOUTH RIGHT OF WAY OF MAIN STREET
ELEVATION: 935.35' (NAVD88)



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REVISIONS:

NO.	DATE	DESCRIPTION

ISSUE DATE: _____

DRAWN BY: RPF

PANDA PROJECT #: D23353
ARCH PROJECT #: _____
ENG PROJECT #: 22006626



PANDA EXPRESS

4300 W. MAIN ST.
KALAMAZOO, MI

C01
LAYOUT PLAN

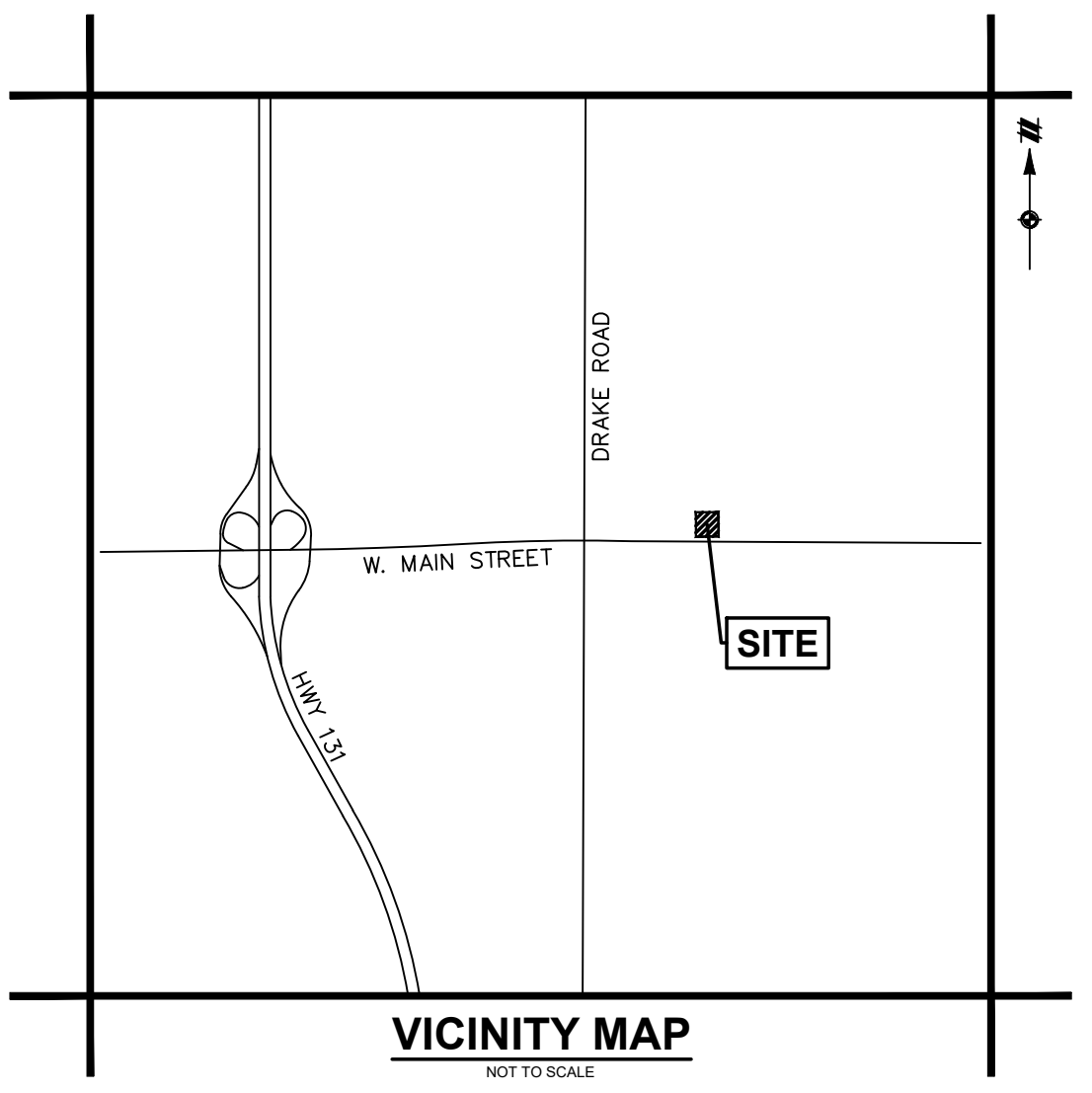
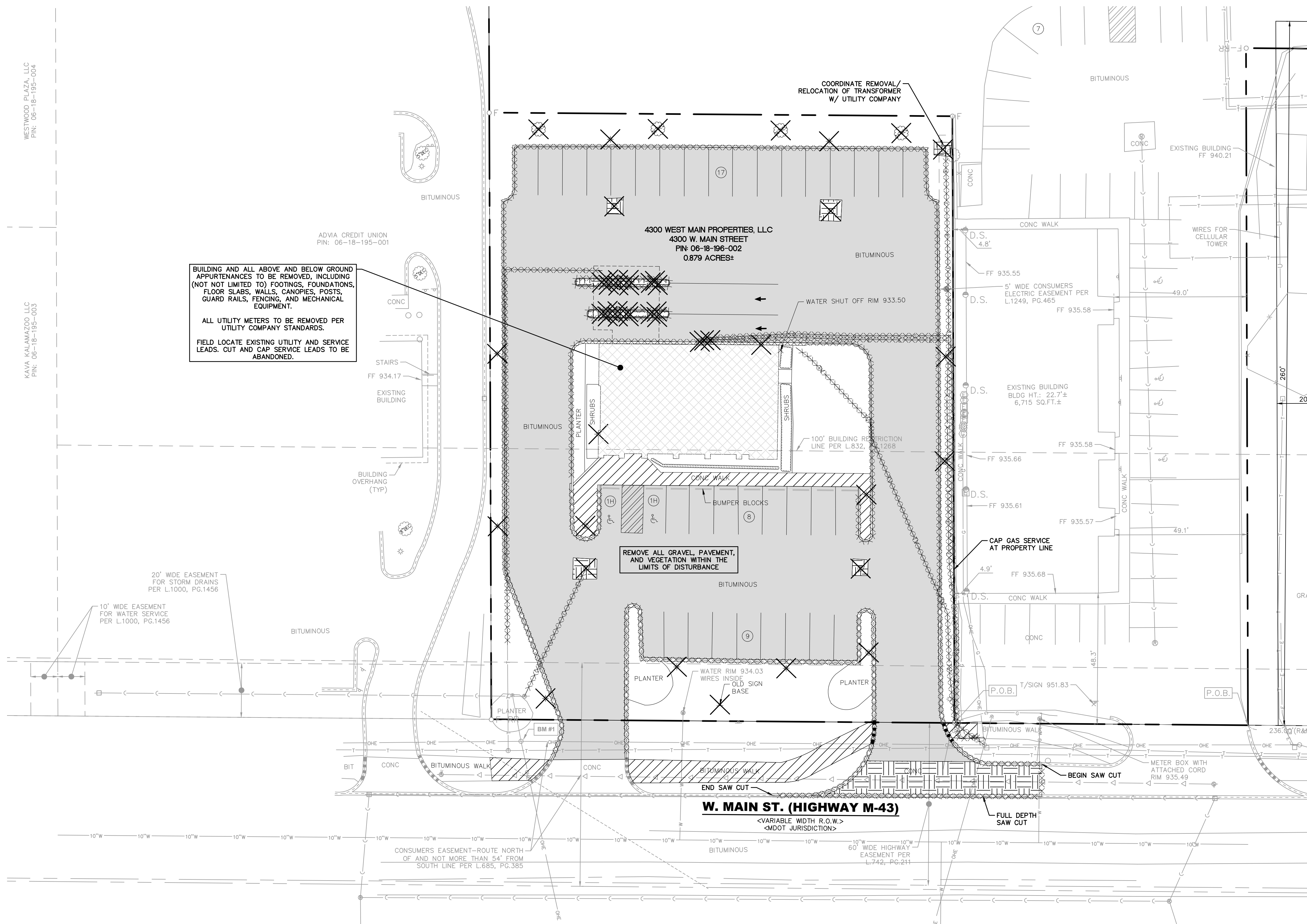
WESTWOOD PLAZA, LLC
PIN: 06-18-195-004

KAWA KALAMAZOO, LLC
PIN: 06-18-195-003

BUILDING AND ALL ABOVE AND BELOW GROUND APPURTENANCES TO BE REMOVED, INCLUDING (NOT NOT LIMITED TO) FOOTINGS, FOUNDATIONS, FLOOR SLABS, WALLS, CANOPIES, POSTS, GUARD RAILS, FENCING, AND MECHANICAL EQUIPMENT.

ALL UTILITY METERS TO BE REMOVED PER UTILITY COMPANY STANDARDS.

FIELD LOCATE EXISTING UTILITY AND SERVICE LEADS. CUT AND CAP SERVICE LEADS TO BE ABANDONED.



LEGEND

	PROPERTY LINE
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	UNDERGROUND DATA/TELE
	GAS
	BUILDING TO BE REMOVED
	ASPHALT TO BE REMOVED
	SIDEWALK TO BE REMOVED
	BRICKS TO BE REMOVED
	CONCRETE TO BE REMOVED
	ITEM(S) TO BE REMOVED
	PROPOSED LIMITS OF DISTURBANCE

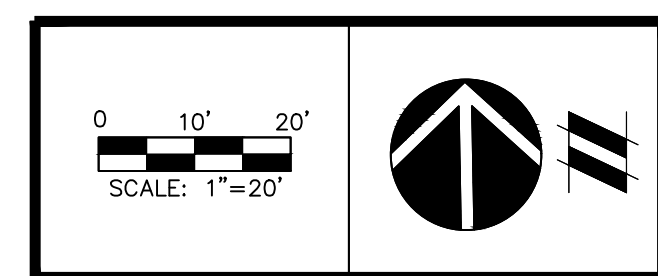
NOTES

1. ANY ITEM NOT INDICATED AS BEING REMOVED SHALL REMAIN.
2. FOR ADDITIONAL INFORMATION REFERENCE THE STANDARD NOTES SHEET, STANDARD DETAILS SHEET(S), AND ANY MUNICIPALITY AND/OR JURISDICTIONAL DETAILS ATTACHED TO THIS PLAN SET.
3. CONTRACTOR SHALL CALL "MISS DIG" AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION/DEMOLITION.
4. CONTRACTOR SHALL COORDINATE ALL UTILITY REMOVAL AND ABANDONMENT ACTIVITIES WITH LOCAL GOVERNING AGENCY OR UTILITY COMPANY PRIOR TO STARTING DEMOLITION TO INSURE COMPLIANCE WITH GOVERNING AGENCY AND UTILITY COMPANY REMOVAL AND ABANDONMENT STANDARDS.
5. CONTRACTOR RESPONSIBLE FOR COORDINATING UTILITY TERMINATIONS & OBTAINING DEMOLITION PERMIT FROM THE CITY OF KALAMAZOO PRIOR TO BEGINNING CONSTRUCTION.

SITE BENCHMARKS

BENCHMARK 1
SET BENCH TIE IN EAST FACE OF UTILITY POLE LOCATED IN NORTH RIGHT OF WAY MAIN STREET
ELEVATION: 935.19' (NAVD88)

BENCHMARK 2
SET RAILROAD SPIKE IN NORTH FACE OF UTILITY POLE LOCATED IN SOUTH RIGHT OF WAY OF MAIN STREET
ELEVATION: 935.35' (NAVD88)



NOTE:
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REVISIONS:

ISSUE DATE:

DRAWN BY: RPF

PANDA PROJECT #: D23353
ARCH PROJECT #:
ENG PROJECT #: 22006626



PANDA EXPRESS

4300 W. MAIN ST.
KALAMAZOO, MI

C02
DEMOLITION PLAN

SOIL EROSION & SEDIMENTATION CONTROL GENERAL NOTES:

- 1. THIS PROJECT REQUIRES A PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE STATE'S GOVERNING AUTHORITY.
2. THE CONTRACTOR SHALL CONTINUOUSLY PROVIDE ADEQUATE STORMWATER MANAGEMENT IN ACCORDANCE WITH THE APPROVED [STORMWATER POLLUTION PREVENTION PLAN (SWPPP)]
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS, ACCESS ROUTES, AND WATERWAYS IN THE VICINITY OF THE JOB SITE CLEAN AND FREE OF ROCKS, SOIL AND DEBRIS.
4. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROL 'BEST MANAGEMENT PRACTICES' (BMPs) PRIOR TO ANY SITE PREPARATION WORK (E.G., CLEARING, GRUBBING, DEMOLITION, OR EXCAVATION).
5. THE PLACEMENT OF EROSION AND SEDIMENT BMPs SHALL BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN PREPARED FOR THE PROJECT.
6. A GROUNDWATER DISCHARGE PERMIT MAY BE REQUIRED FROM THE STATE GOVERNING AUTHORITY PRIOR TO DISCHARGE.
7. GROUNDWATER SHALL BE SAMPLED AND SENT TO AN APPROVED LABORATORY FOR TESTING PRIOR TO BEING DISCHARGED.
8. APPROVED EROSION AND SEDIMENT CONTROL BMPs SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT.
9. TOPSOIL AND SUITABLE EARTHEN MATERIALS SHALL BE SEGREGATED AND STOCKPILED WITHIN THE LIMITS OF CONSTRUCTION FOR USE ON AREAS TO BE FILLED AND RE-VEGETATED.
10. SOILS THAT WILL BE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL BE MULCHED AND SEEDED WITH A TEMPORARY OR PERMANENT GRASS COVER WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION.
11. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE LIMITS OF CONSTRUCTION DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR.
12. A WATER SOURCE MUST BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
13. THE CONTRACTOR MUST KEEP ALL POLLUTANTS, INCLUDING SEDIMENT, CONSTRUCTION DEBRIS, AND TRENCH BACKFILL MATERIALS FROM ENTERING THE STORM SEWER SYSTEM.
14. ALL SPILLS INCLUDING, BUT NOT LIMITED TO, PETROLEUM PRODUCTS, SOLVENTS, AND CEMENT SHALL BE CLEANED UP IMMEDIATELY.
15. THE CONTRACTOR SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THE SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHT-OF-WAY.
16. THE USE OF REBAR, STEEL STAKES OR STEEL FENCE POSTS FOR STAKING DOWN STRAW OR HAY BALES, OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE, IS PROHIBITED.
17. THE CLEANING OF CONCRETE DELIVERY TRUCK CHUTES IS RESTRICTED TO APPROVED LOCATIONS ON THE JOB SITE.
18. CONTRACTOR SHALL PROVIDE A COMPLETED 'NOTICE OF TERMINATION' TO OWNER, FOR OWNERS SUBMITTAL TO THE STATE'S GOVERNING AUTHORITY ONCE THE PROJECT IS COMPLETE.
19. THE CONTRACTOR SHALL CLEAN OUT ALL EXISTING AND PROPOSED INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENTATION AT COMPLETION OF SITEWORK.
20. CONTRACTOR IS TO DESIGNATE A SITE DUMP/WASH AREA PRIOR TO STARTING CONSTRUCTION FOR SUCH PURPOSES AS WASHING OUT CONCRETE TRUCKS AND DUMPING NON-HAZEROUS WASTE MATERIALS.
21. DEVELOPER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN, COMPLETED APPLICATION AND CHECKLIST FORMS, PAY ALL FEES AND POST AN EROSION CONTROL PERFORMANCE BOND.
22. SEDIMENT AND EROSION CONTROLS MUST BE INSPECTED WITHIN 24 HOURS OF A RAINFALL EVENT WHICH GENERATES RUNOFF AND/OR ONCE PER WEEK.
23. SEDIMENT TRAPS, INLET FILTERS, AND PERIMETER CONTROLS SHALL BE IMPLEMENTED AS A FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPLAND AREAS ARE STABILIZED.
24. INLET FILTERS SHOULD BE INSPECTED FOR BUILD-UP OF SILT AND OTHER DEBRIS.
25. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS.
26. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION.
27. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED AND AS DIRECTED ON THESE PLANS.
28. STOCK PILES WILL BE SEEDED AND MULCHED AND RE-SEEDDED IF SEEDING DOES NOT TAKE.
29. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED.
30. ALL MUD/DIRT TRACKED ONTO EXISTING ROADS FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR/BUILDER.
31. CLEANUP WILL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
32. DUST CONTROL WILL BE EXERCISED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTOR.
33. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.
34. EXCESS DIRT/FILL IS NOT TO BE PLACED WITHIN THE PROPOSED BUILDING LIMITS OR ON ANY AREAS ON OR ADJACENT TO THE SITE BEYOND THE LIMITS OF DISTURBANCE SHOWN ON THE SOIL EROSION PLANS UNLESS WRITTEN AUTHORIZATION IS PROVIDED BY THE ACCEPTING LAND OWNER.

SOIL EROSION/SEDIMENT CONTROL MAINTENANCE SCHEDULE NOTES:

A CONTRACTOR/INSPECTOR SHALL INSPECT THE SOIL EROSION/SEDIMENT CONTROL DEVICES ONCE EACH WEEK AND/OR WITHIN 24 HOURS OF A PRECIPITATION EVENT WHICH RESULTS IN A STORM DISCHARGE FROM THE SITE. THE FOLLOWING STEPS SHALL BE IMPLEMENTED IF ANY DAMAGE HAS RESULTED FROM CONSTRUCTION OR WEAR.

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF SOIL EROSION AND SEDIMENTATION CONTROL DEVICES.
2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES.
3. SEEDING SHALL BE PREPARED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
4. STOCK PILES WILL BE SEEDED/MULCH BLANKET ADDED AND RESEEDDED IF SEEDING DOES NOT TAKE.
5. ACCESS ROADS MUST BE MAINTAINED AS NECESSARY.
6. INLET FILTERS SHOULD BE INSPECTED FOR BUILD-UP OF SILT AND OTHER DEBRIS.
7. ANY TRACKING OF MUD OR DIRT ONTO PUBLIC OR PRIVATE ROADS SHALL BE REMOVED PROMPTLY.
8. IF DUST BECOMES A PROBLEM, SPECIAL WATERING TECHNIQUES MUST BE USED TO CONTROL DUST.
9. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN THE SOIL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS BEFORE AND AT ALL TIMES DURING CONSTRUCTION ON THIS PROJECT.
10. IF ANY OF THE SESC MEASURES ON THE SITE ARE DEEMED INADEQUATE OR INEFFECTIVE, THE GOVERNING AGENCY HAS THE RIGHT TO REQUIRE ADDITIONAL SESC MEASURES AT THE EXPENSE OF THE CONTRACTOR.



SILT FENCE DETAIL NOT TO SCALE

PROHIBITED CONSTRUCTION ACTIVITIES:

- THE CONTRACTOR SHALL NOT USE CONSTRUCTION ACTIVITIES, PROCEEDINGS, OR OPERATIONS THAT MAY UNNECESSARILY IMPACT THE NATURAL ENVIRONMENT OR THE PUBLIC HEALTH AND SAFETY.
1. DISPOSING OF EXCESS OR UNSUITABLE EXCAVATED MATERIALS IN WETLANDS OR FLOODPLAINS.
2. INDISCRIMINATE, ARBITRARY, OR CAPRICIOUS OPERATION OF EQUIPMENT IN ANY STREAM CORRIDOR, TRIBUTARY, WATERS, WETLANDS, OR ANY AREAS OUTSIDE OF THE PROPOSED WORK AREA.
3. PUMPING OF SEDIMENT-LADEN WATER FROM BASINS, TRENCHES OR OTHER EXCAVATIONS INTO ANY SURFACE WATERS, STREAM CORRIDORS, WETLANDS, OR STORM DRAINS.
4. DISCHARGING OF POLLUTANTS SUCH AS CHEMICALS, FUEL, LUBRICANTS, BITUMINOUS MATERIALS, RAW SEWAGE, AND OTHER HARMFUL WASTE INTO OR ALONGSIDE STREAM, RIVERS, IMPOUNDMENT, OR INTO NATURAL OR MAN-MADE CHANNELS LEADING THERETO.
5. PERMANENT OR UNSPECIFIED ALTERATION OF THE FLOW-LINE OF A STREAM.
6. DAMAGING OF VEGETATION OUTSIDE OF THE PROPOSED WORK LIMITS.
7. DISPOSAL OF TREES, BRUSH AND OTHER DEBRIS IN ANY STREAM CORRIDORS, WETLANDS SURFACE WATERS, OR ANY OTHER UNSPECIFIED LOCATION.
8. OPEN BURNING OF PROJECT DEBRIS WITHOUT A PERMIT.
9. STORING OF CONSTRUCTION EQUIPMENT AND VEHICLES AND/OR STOCKPIILING CONSTRUCTION MATERIALS ON PROPERTY.
10. DISPOSAL OF CHIP WOOD IN SUCH A MANNER THAT WOULD ALLOW CHIP WOOD DECOMPOSITION AND LEACHATE WATER TO FLOW TO ANY SURFACE WATER.
11. TRACKING OF MUD AND OTHER CONSTRUCTION RELATED DEBRIS ONTO ROADWAY OR FLUSHING SEDIMENT FROM ROADWAY WITH WATER.

SOIL EROSION & SEDIMENTATION CONTROL SEQUENCE

- 1. INSTALL ALL PERIMETER EROSION AND SEDIMENTATION CONTROL MEASURES.
2. INSTALL STORM DRAINAGE ITEMS, INCLUDING INLET FILTERS.
3. ROUGH GRADE SITE, STOCK PILE TOP SOIL IN LOCATION APPROVED BY OWNER AND ENGINEER.
4. MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES, AS REQUIRED.
5. BRING PAVEMENT AREAS TO SUB-BASE GRADE.
6. INSTALL PAVEMENT COMPLETE, REPAIR OR REPLACE INLET FILTER AS REQUIRED.
7. FINISH GRADE, REDISTRIBUTE TOP SOIL, SEED AND MULCH ALL DISTURBED AREAS.
8. ONCE SITE IS FULLY STABILIZED, REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.

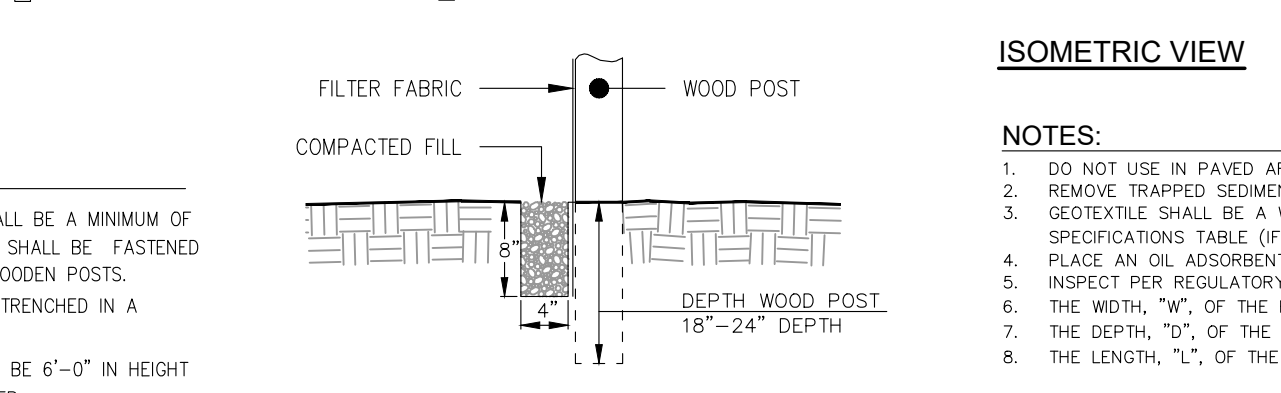
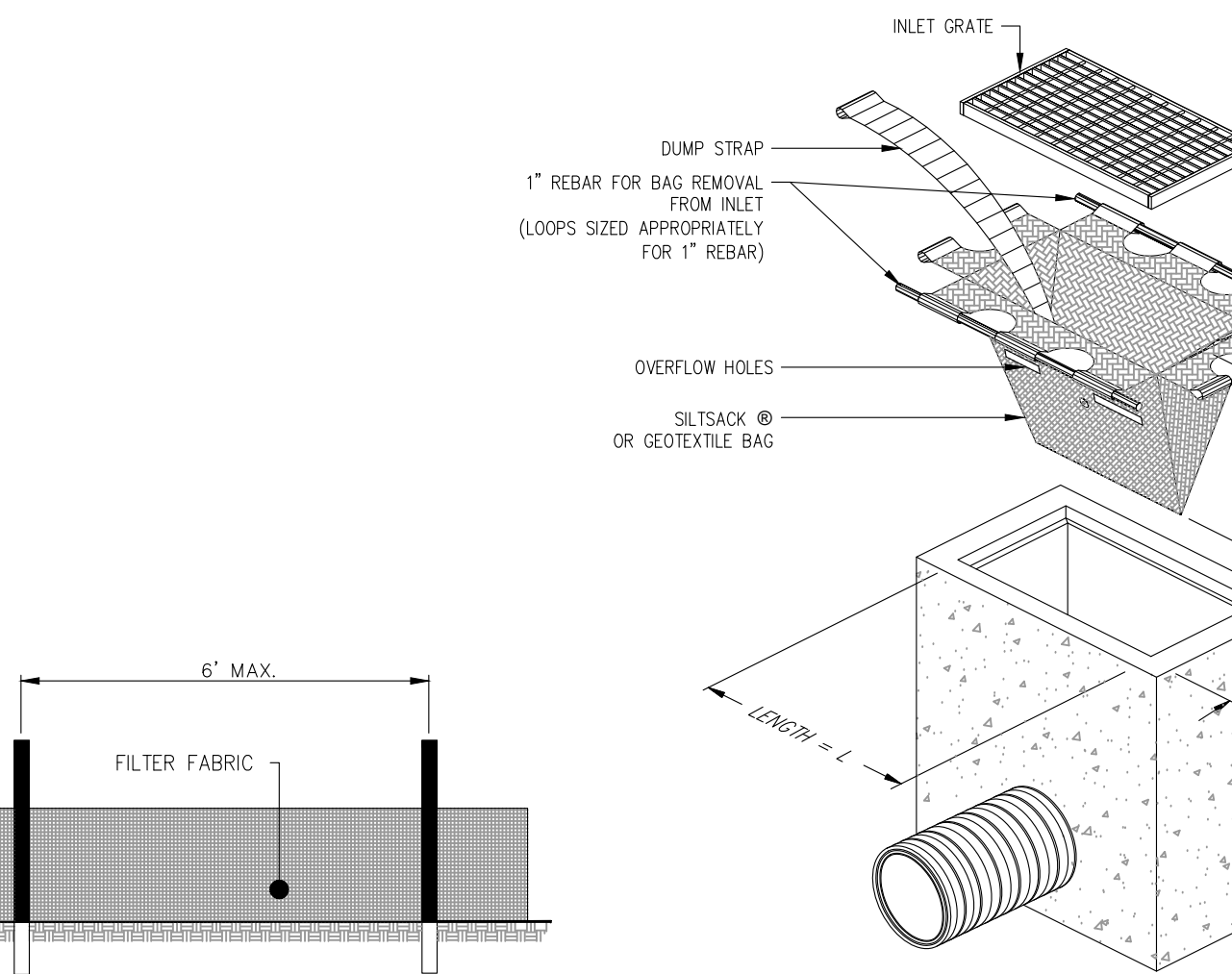
SOIL EROSION CONTROL MAINTENANCE TASKS AND SCHEDULE

Table with columns for 'During Construction' and 'Permanent Maintenance'. Includes tasks like 'Inspect for sediment accumulation', 'Clean for floatables and debris', and 'Maintain erosion control measures' with schedules for weekly, quarterly, and semi-annual frequencies.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

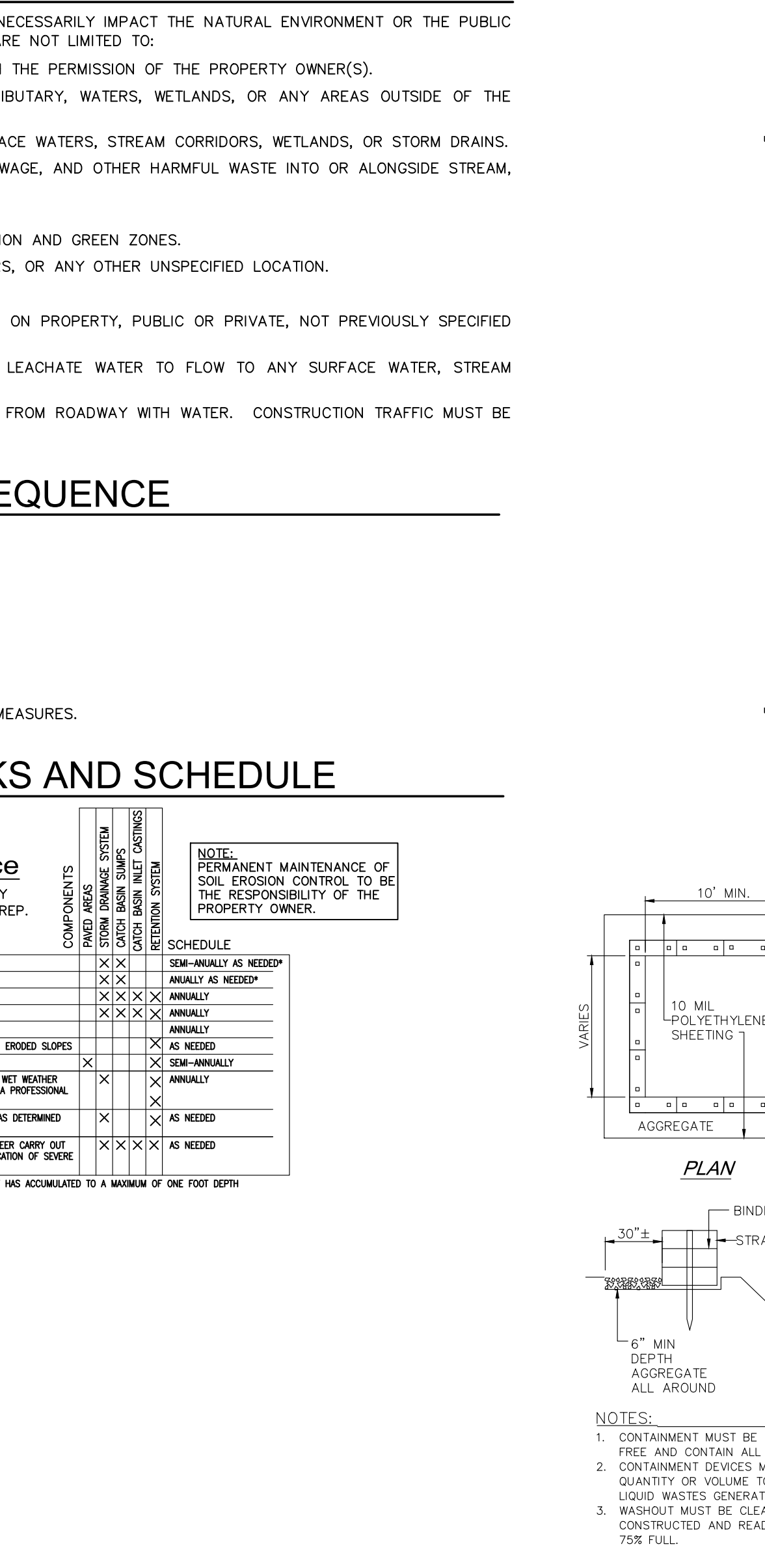
NOTE: GENERAL CONTRACTOR TO REVIEW & UPDATE TABLE ACCORDINGLY DUE TO ANY CHANGE IN CONSTRUCTION START DATE

Construction sequence schedule table with columns for months (JAN-DEC) and rows for construction activities like 'Site Demolition', 'Foundation / Building Construction', 'Site Construction & Utilities', etc.

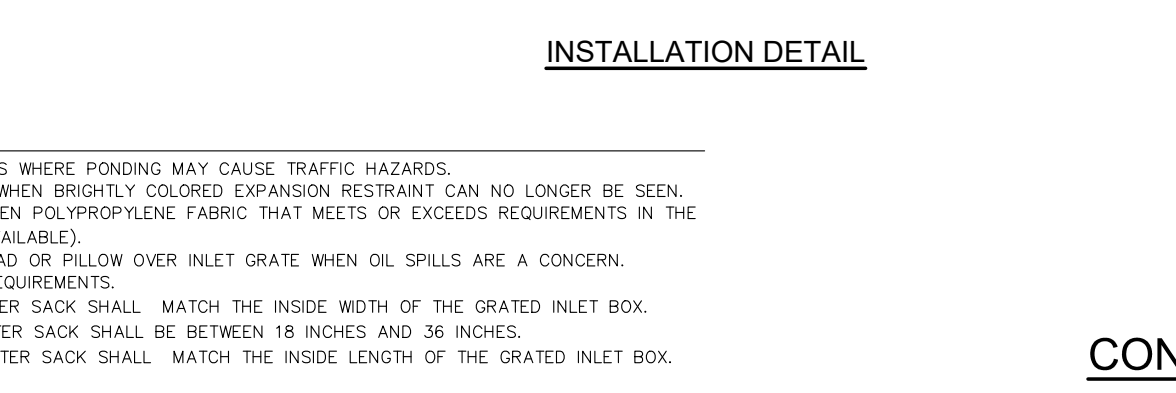
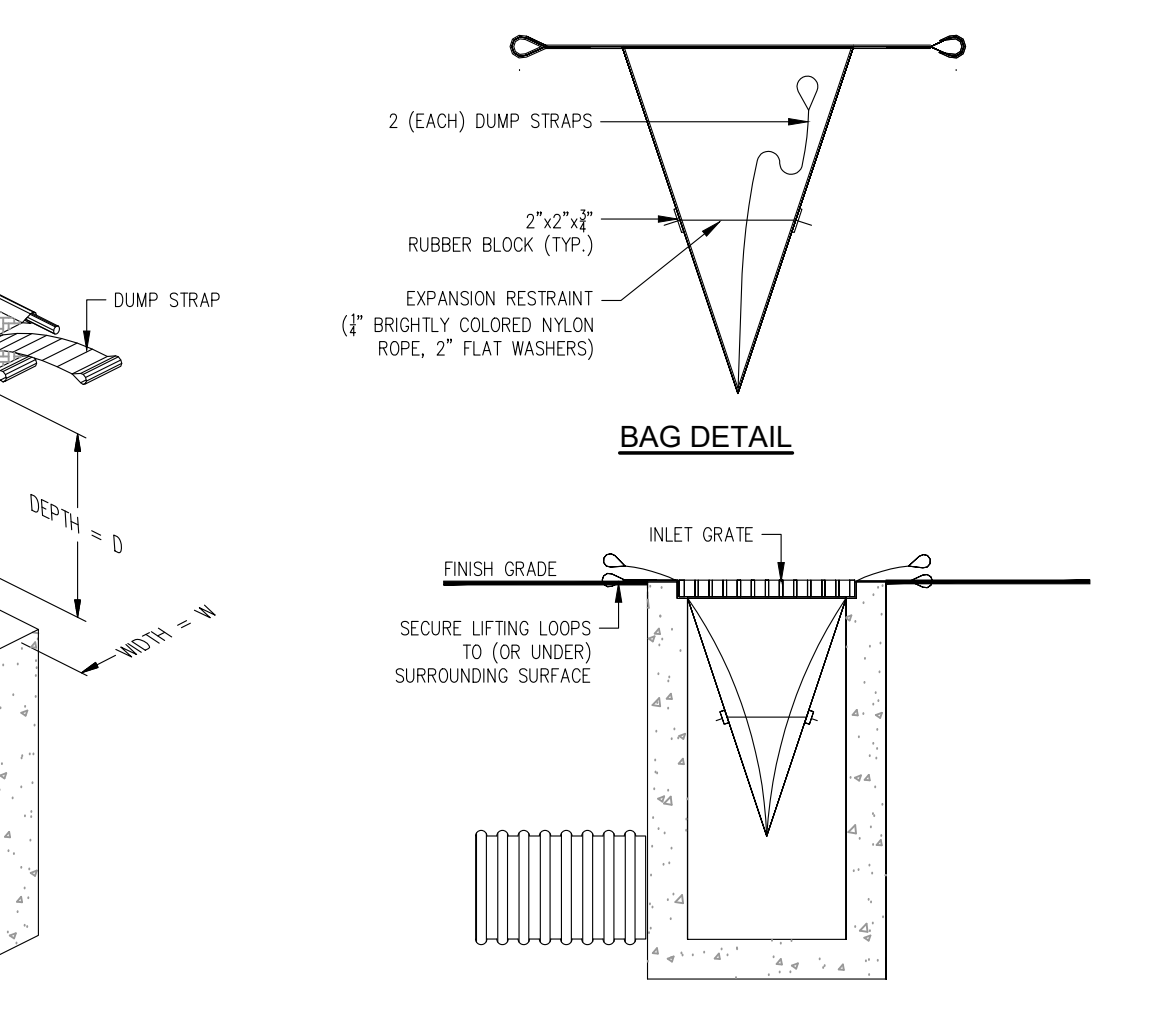


INLET FILTER SACKS (GRATED INLETS) NOT TO SCALE

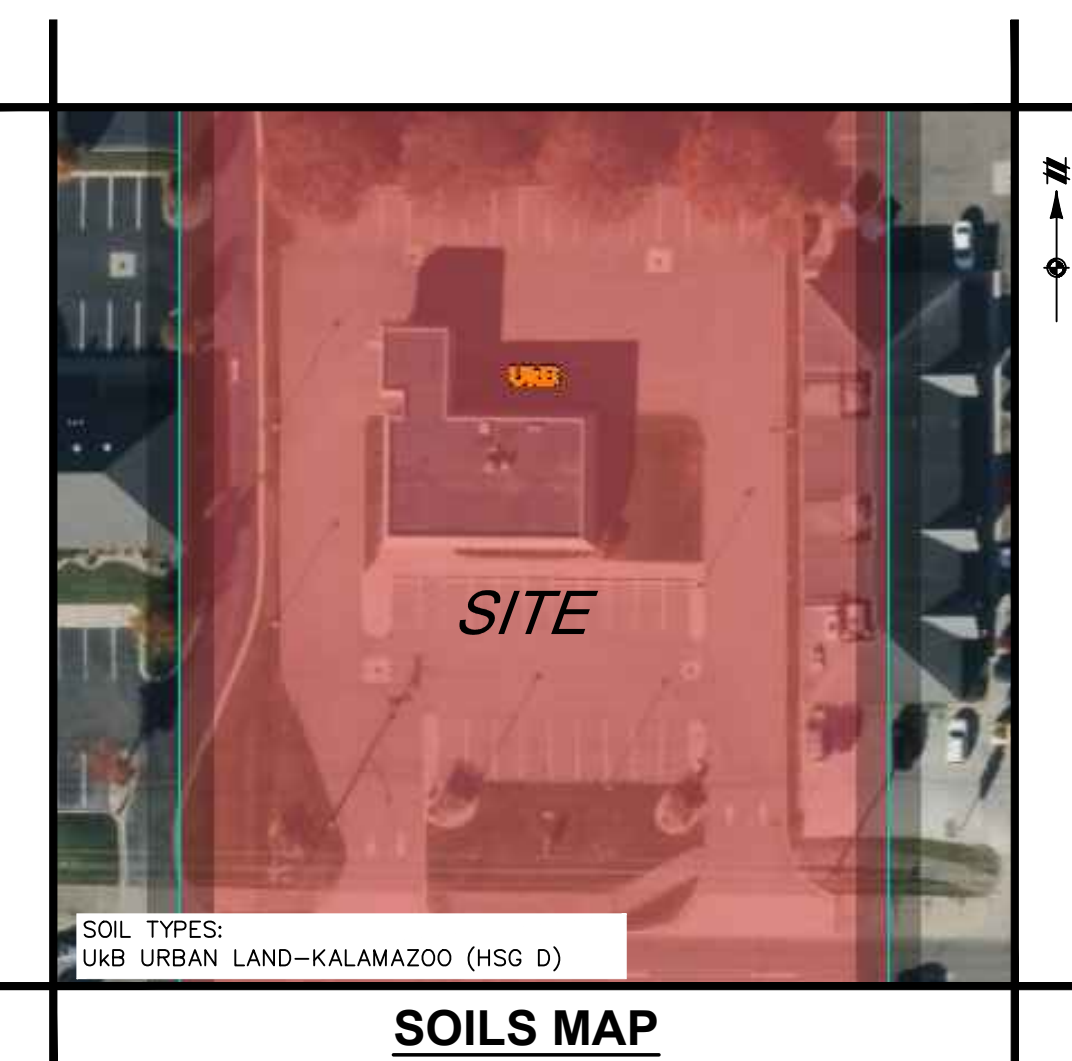
CONCRETE WASHOUT AREA NOT TO SCALE



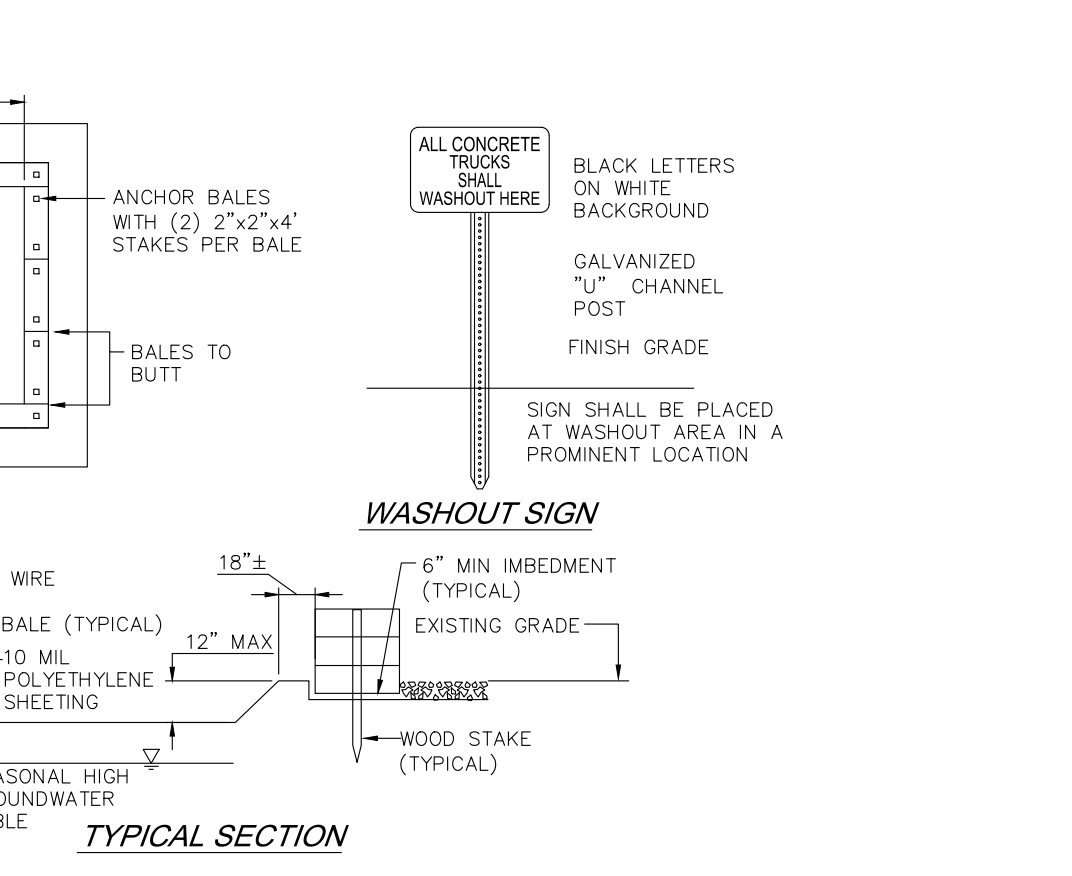
CONCRETE WASHOUT AREA NOT TO SCALE



CONSTRUCTION ENTRANCE AND STONE LAYDOWN NOT TO SCALE



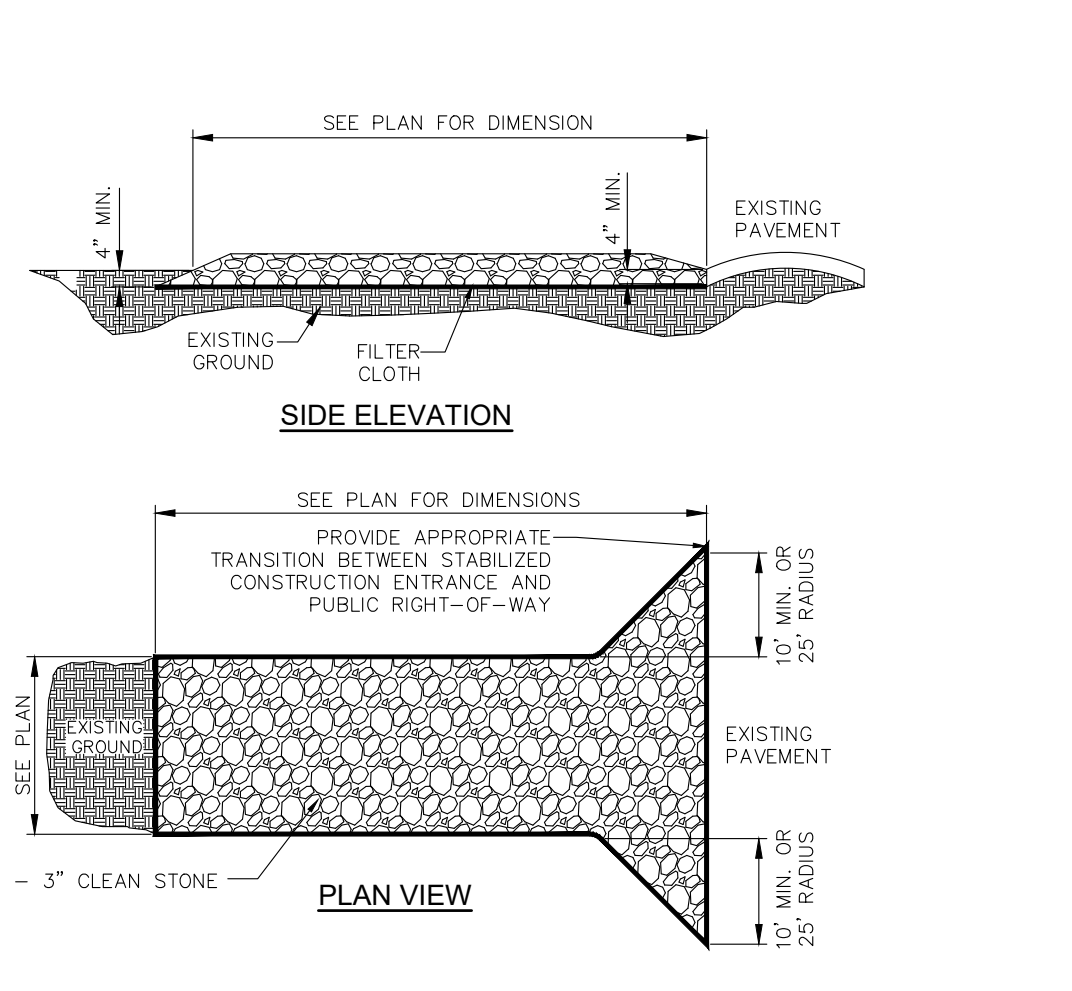
SOILS MAP NOT TO SCALE



WASHOUT SIGN

- 1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
3. WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
4. WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
5. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
6. AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

CONCRETE WASHOUT AREA NOT TO SCALE



- 1. STONE - USE COARSE AGGREGATE (2 - 3 INCH STONE)
2. LENGTH - AS EFFECTIVE, SEE PLAN
3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY.
7. 12" X 24" METAL GRATE MAY BE USED. GRATE SHALL BE 25' AWAY FROM PAVEMENT AND APPROPRIATE SEDIMENT CONTROL TRAPPING DEVICE SHALL BE USED AT GRATE OUTLET POINT.

CONSTRUCTION ENTRANCE AND STONE LAYDOWN NOT TO SCALE



PANDA RESTAURANT GROUP INC. 1683 Walnut Grove Ave. Rosemead, California 91770 Telephone: 626.799.9988 Facsimile: 626.372.8288

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REVISIONS:

Table with 4 columns: NO., DATE, BY, DESCRIPTION. It is currently empty.

ISSUE DATE:

Table with 4 columns: NO., DATE, BY, DESCRIPTION. It is currently empty.

DRAWN BY: RPF

PANDA PROJECT #: D23353 ARCH PROJECT #: ENG PROJECT #: 22006626



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C04

SESC DETAILS



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Rosemead, California
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NO.	DATE	DESCRIPTION

ISSUE DATE:

DATE	DESCRIPTION

DRAWN BY: RPF

PANDA PROJECT #: D23353
ARCH PROJECT #:
ENG PROJECT #: 22006626

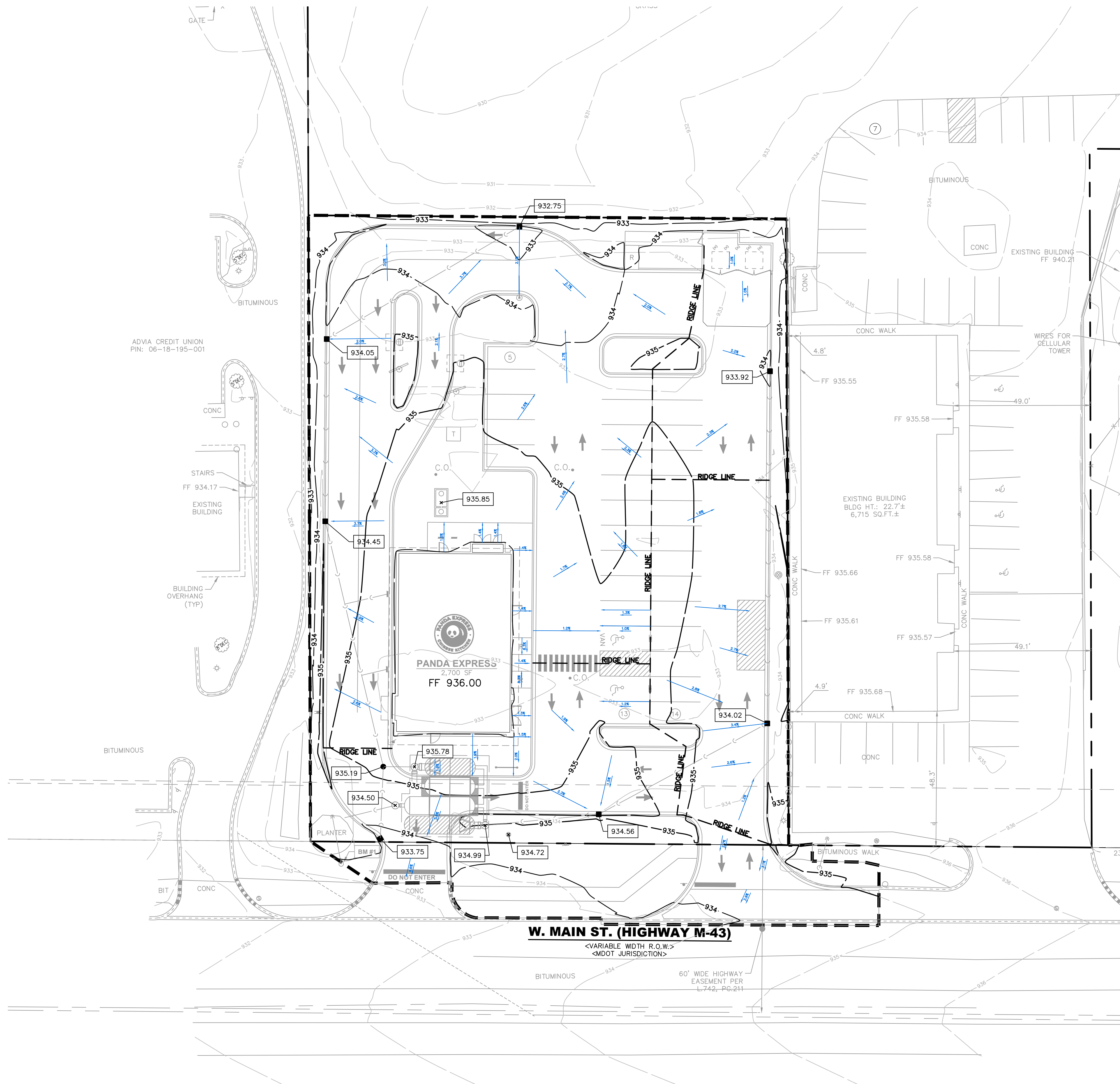
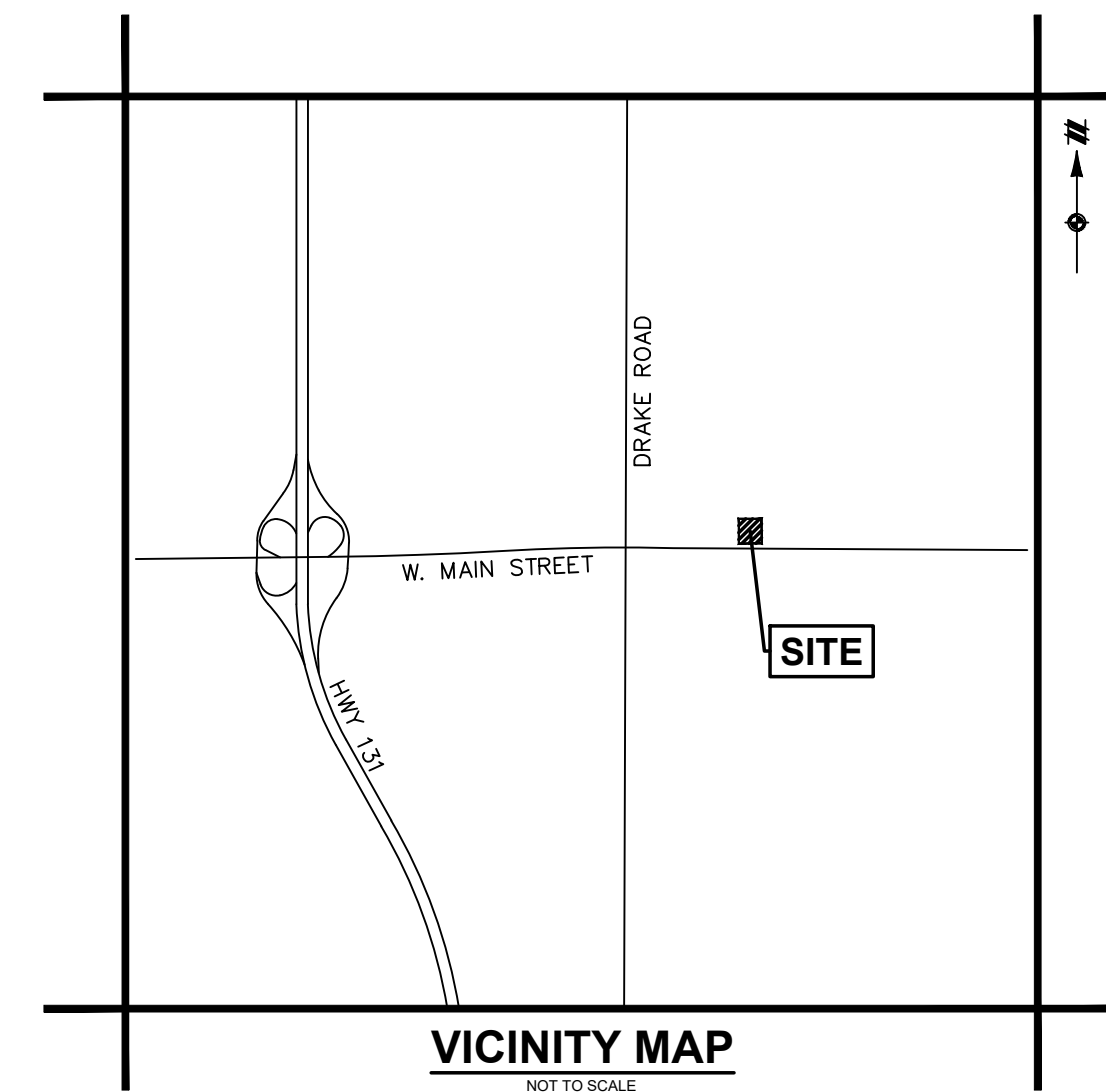


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PRELIMINARY
GRADING PLAN



LEGEND

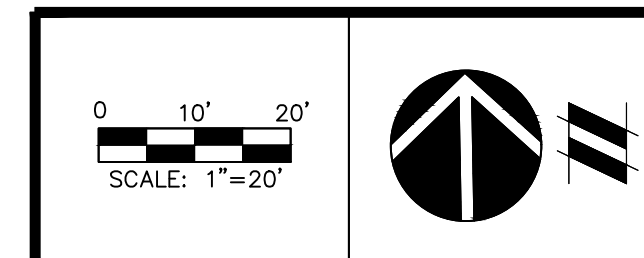
- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMITS OF DISTURBANCE
- DRAINAGE FLOW DIRECTION

NOTES

1. REFER TO EXISTING CONDITIONS PLAN FOR BENCHMARK(S).
2. FOR ADDITIONAL INFORMATION REFERENCE THE STANDARD NOTES SHEET, STANDARD DETAILS SHEET(S), AND ANY MUNICIPALITY AND/OR JURISDICTIONAL DETAILS ATTACHED TO THIS PLAN SET.
3. ALL ELEVATIONS SHOWN ARE TOP OF PAVEMENT/FINISH GRADE UNLESS OTHERWISE NOTED.
4. PROPOSED ELEVATIONS FOR STRUCTURES ARE:
HYDRANT = BASE FLANGE
VALVE/MANHOLE/CLEANOUT = RIM
CATCH BASIN/INLET = RIM/FLOW LINE

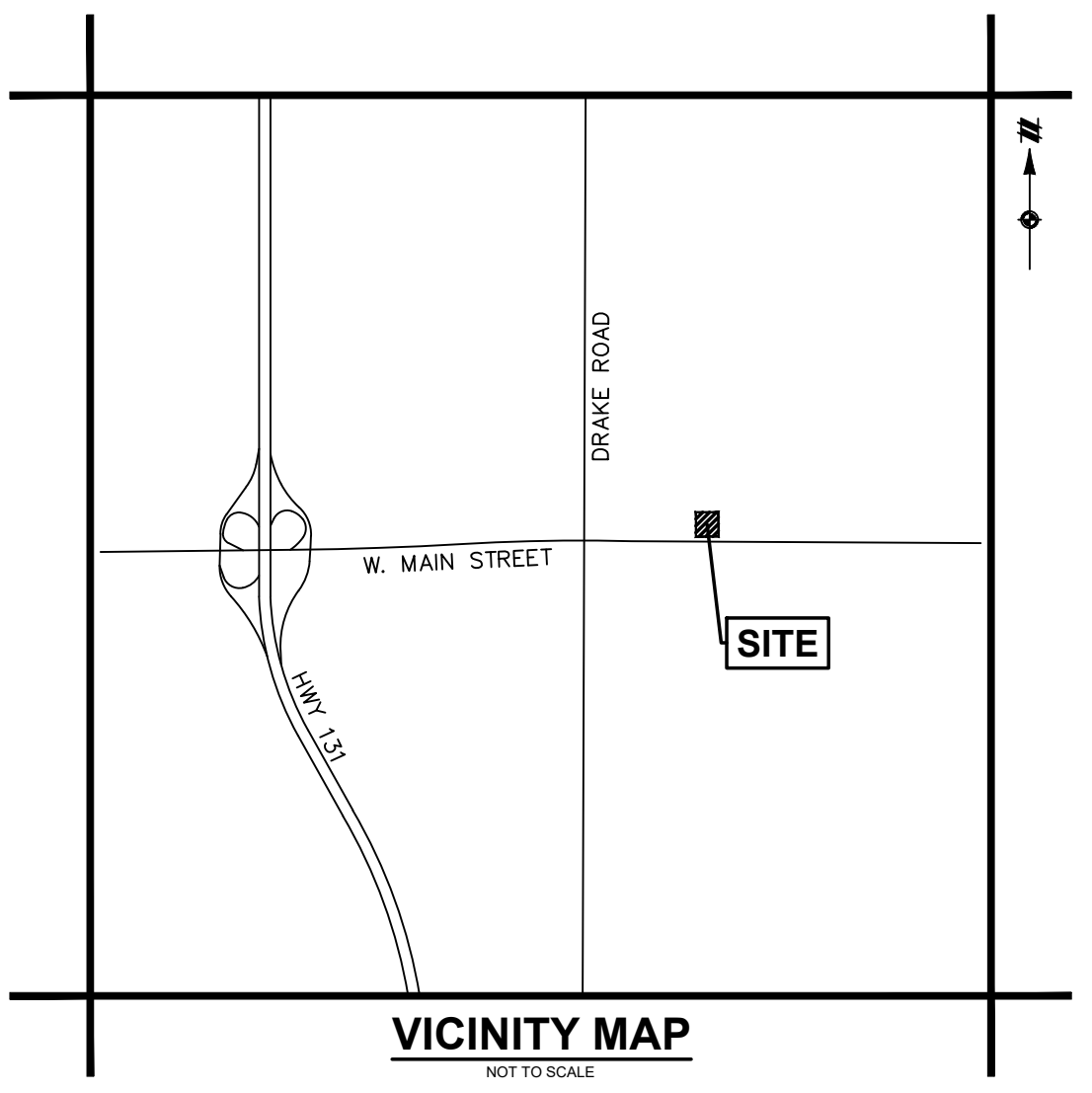
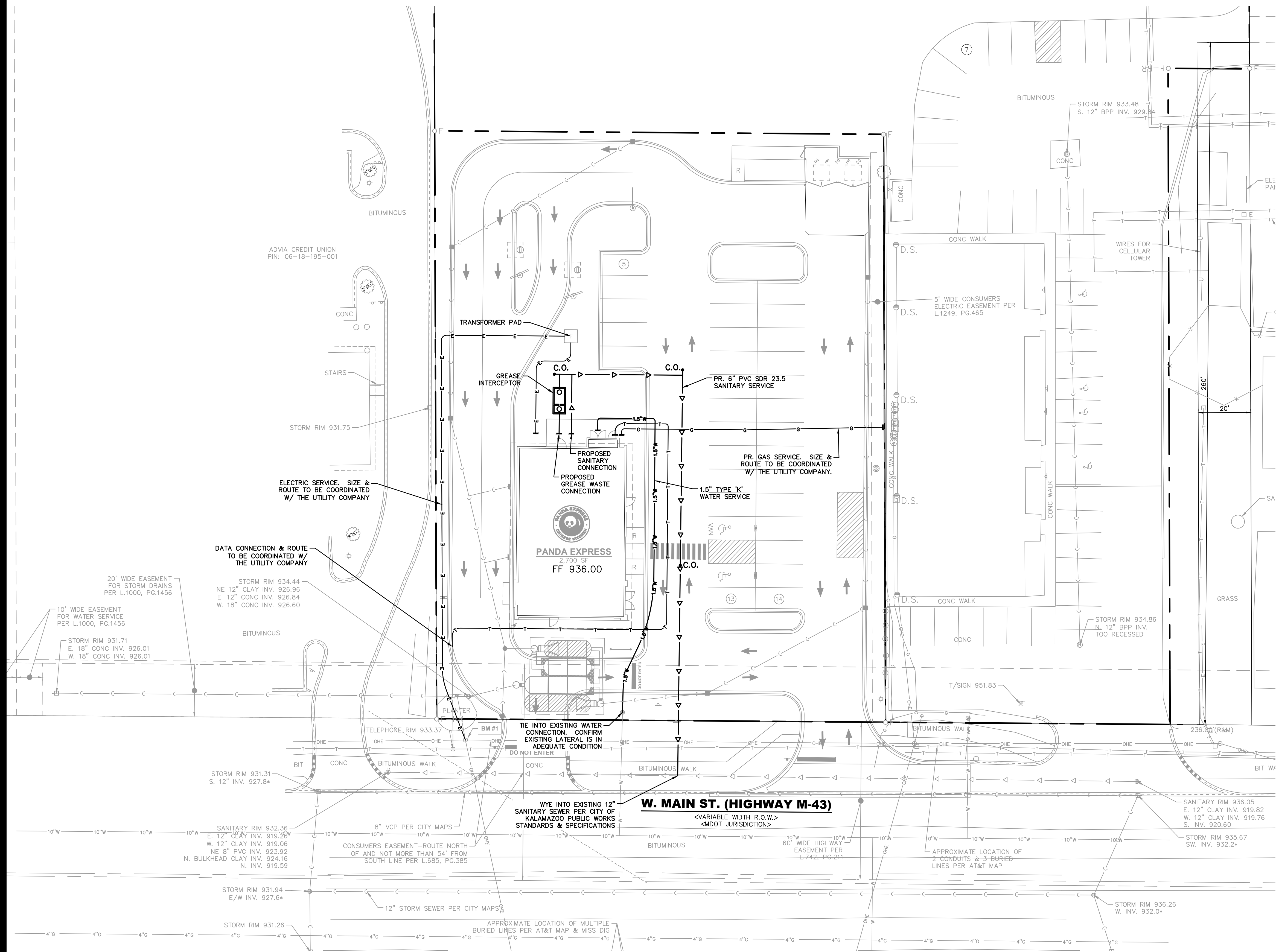
SITE BENCHMARKS

- BENCHMARK 1
SET BENCH TIE IN EAST FACE OF UTILITY POLE LOCATED IN NORTH RIGHT OF WAY MAIN STREET
ELEVATION: 935.19' (NAVD88)
- BENCHMARK 2
SET RAILROAD SPIKE IN NORTH FACE OF UTILITY POLE LOCATED IN SOUTH RIGHT OF WAY OF MAIN STREET
ELEVATION: 935.35' (NAVD88)



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS.



LEGEND

	PROPERTY LINE
	EXISTING SANITARY SEWER
	EXISTING WATER
	EXISTING GAS
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD LINES
	EXISTING UNDERGROUND CABLE
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER
	PROPOSED GAS
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND DATA
	EXISTING MANHOLE
	EXISTING HYDRANT
	EXISTING / PROPOSED VALVE
	EXISTING UTILITY POLE
	PROPOSED LIGHT POLE

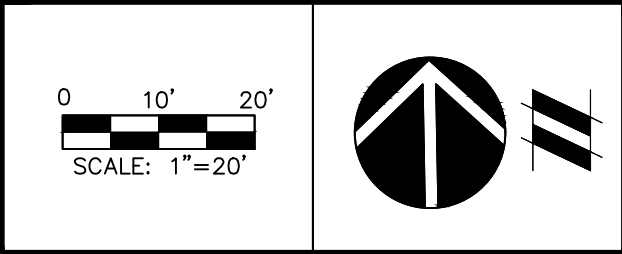
NOTES

- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH UTILITY COMPANY OR AUTHORITY HAVING JURISDICTION PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL CALL "MISS DIG" AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION.
- FRANCHISE UTILITY LOCATIONS SHOWN FOR REFERENCE ONLY. OWNER/CONTRACTOR TO COORDINATE FRANCHISE UTILITY SERVICE CONNECTIONS, PERMITTING, ROUTING, ETC. WITH UTILITY COMPANIES.
- ALL SANITARY SEWER LEAD SHALL BE 6" PVC SDR 23.5 WITH MINIMUM 1% SLOPE.

SITE BENCHMARKS

BENCHMARK 1
 SET BENCH TIE IN EAST FACE OF UTILITY POLE LOCATED IN NORTH RIGHT OF WAY MAIN STREET
 ELEVATION: 935.19' (NAVD88)

BENCHMARK 2
 SET RAILROAD SPIKE IN NORTH FACE OF UTILITY POLE LOCATED IN SOUTH RIGHT OF WAY OF MAIN STREET
 ELEVATION: 935.35' (NAVD88)



**Know what's below.
Call before you dig.**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS.



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REVISIONS:

NO.	DATE	DESCRIPTION

ISSUE DATE:

DRAWN BY: RPF

PANDA PROJECT #: D23353
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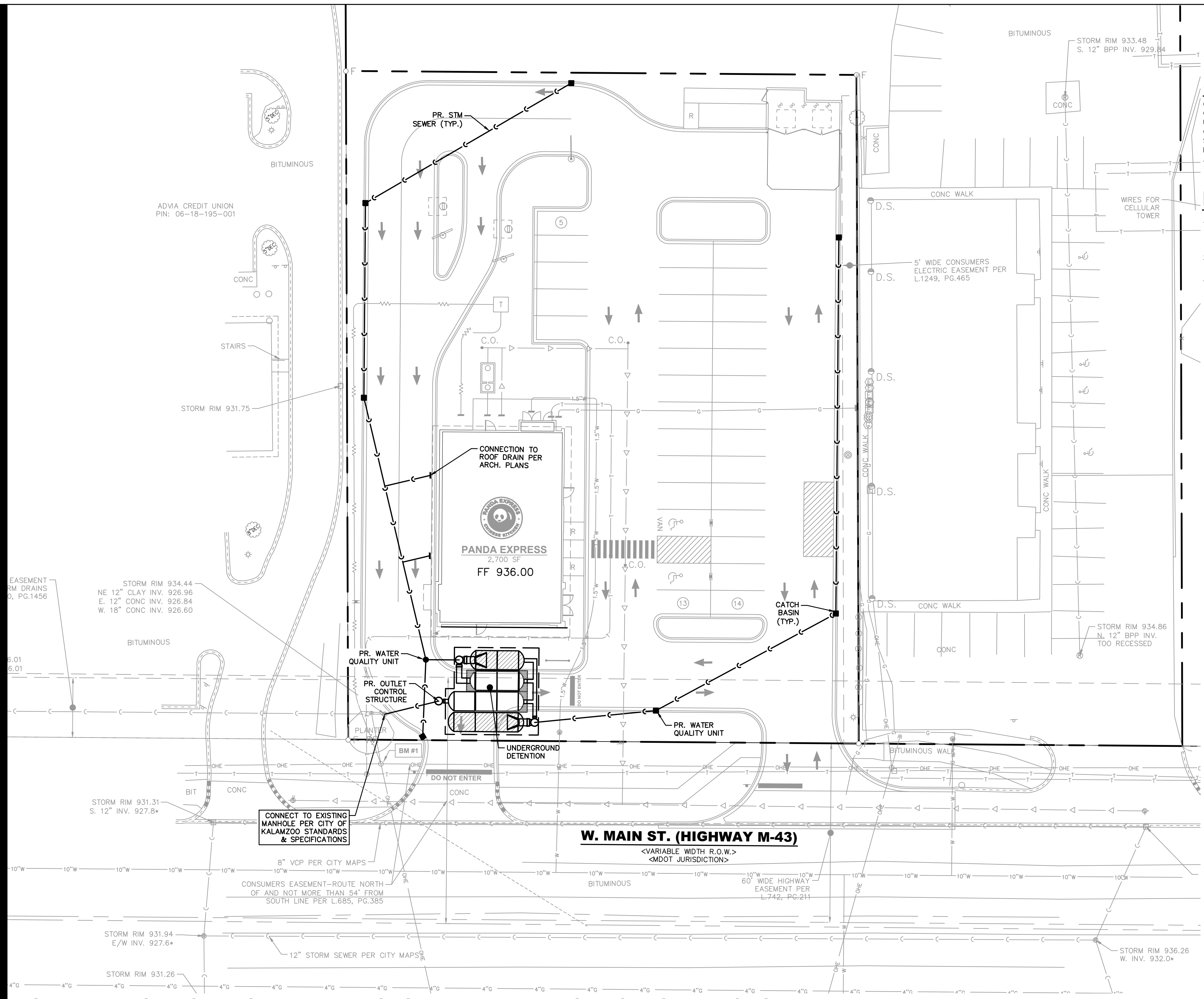


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PRELIMINARY UTILITY PLAN

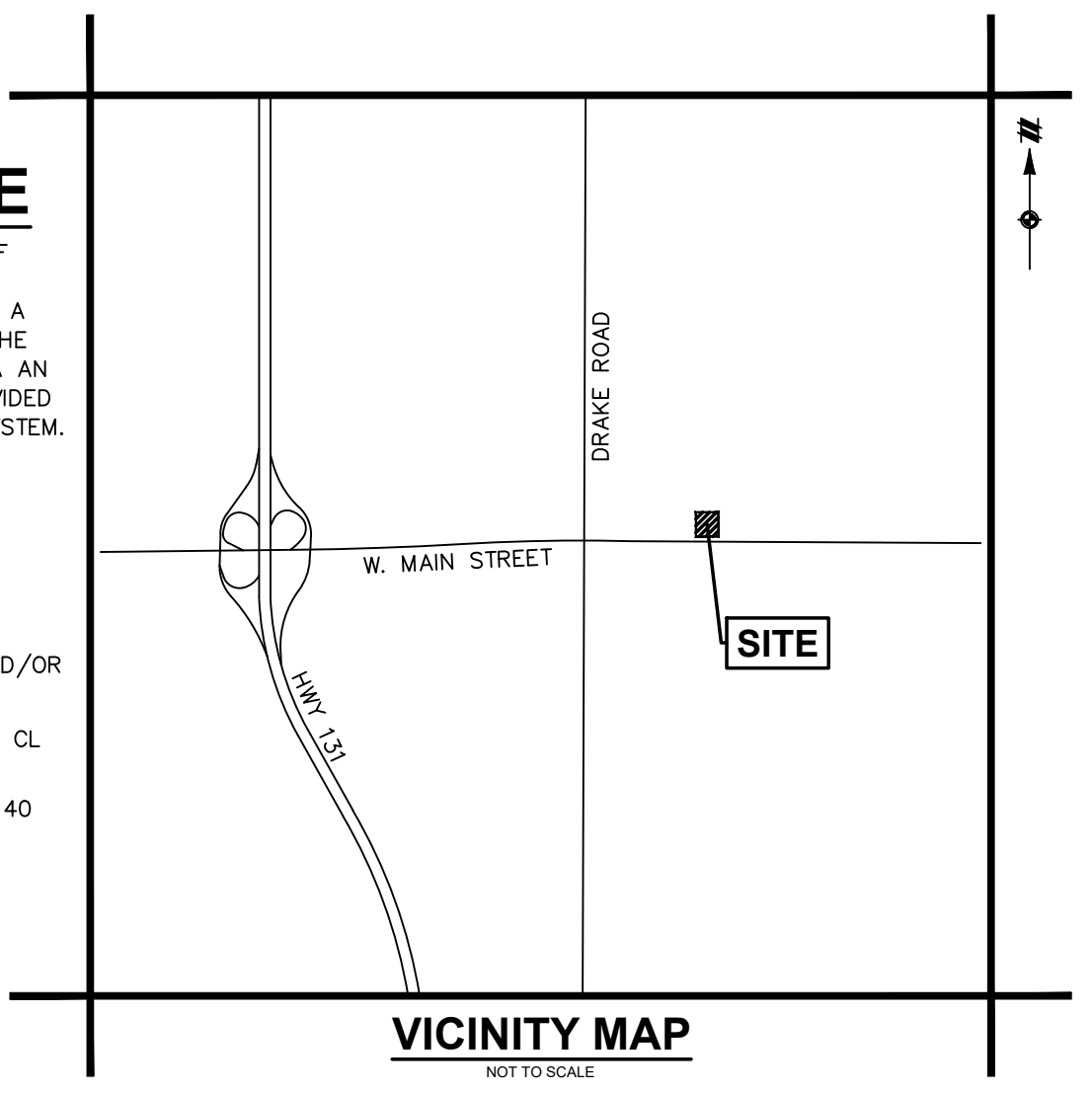


STORMWATER NARRATIVE

ON-SITE STORMWATER WILL GENERALLY SHEET FLOW TO A SERIES OF CATCH BASINS WHERE IT WILL BE CONVEYED TO AN ON-SITE UNDERGROUND DETENTION SYSTEM WHICH OUTLETS TO CITY MS4 VIA A CONNECTION TO AN EXISTING MANHOLE ON WEST MAIN STREET ON THE SOUTH SIDE OF THE PROPERTY. SPILL PROTECTION IS PROVIDED VIA AN ISOLATOR ROW. ADDITIONALLY, WATER QUALITY UNITS WILL BE PROVIDED AT EACH OUTFALL LOCATION INTO THE UNDERGROUND DETENTION SYSTEM.

NOTES

- FOR ADDITIONAL INFORMATION REFERENCE THE STANDARD NOTES SHEET, STANDARD DETAILS SHEET(S), AND ANY MUNICIPALITY AND/OR JURISDICTIONAL NOTES/DETAILS INCLUDED WITH THIS PLAN SET.
- ALL STORM SEWER 12" IN DIAMETER OR GREATER SHALL BE RCP CL IV UNLESS OTHERWISE NOTED.
- ALL STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE SCH. 40 PVC UNLESS OTHERWISE NOTED. .



VICINITY MAP
NOT TO SCALE

Project: 22006626 - Panda Express

StormTech MC-3500		
Chamber Model -	MC-3500	
Units -	Imperial	
Number of Chambers -	10	
Number of End Caps -	9	
Voids in the stone (porosity) -	40	%
Base of Stone Elevation -	626.95	ft
Amount of Stone Above Chambers -	12	in
Amount of Stone Below Chambers -	9	in
Area of system -	870	sq ft Min. Area - 626 sq min. area

StormTech MC-3500 Cumulative Storage Volumes

Height of System (inches)	Incremental Single Chamber (cubic feet)	Incremental Single End Cap (cubic feet)	Incremental Chambers (cubic feet)	Incremental End Cap (cubic feet)	Incremental Stone (cubic feet)	Incremental Ch. EC and Stone (cubic feet)	Cumulative System (cubic feet)	Elevation (feet)
66	0.00	0.00	0.00	0.00	28.99	28.99	2644.88	632.45
65	0.00	0.00	0.00	0.00	28.99	28.99	2615.89	632.37
64	0.00	0.00	0.00	0.00	28.99	28.99	2586.90	632.28
63	0.00	0.00	0.00	0.00	28.99	28.99	2557.91	632.20
62	0.00	0.00	0.00	0.00	28.99	28.99	2528.91	632.12
61	0.00	0.00	0.00	0.00	28.99	28.99	2499.92	632.03
60	0.00	0.00	0.00	0.00	28.99	28.99	2470.93	631.95
59	0.00	0.00	0.00	0.00	28.99	28.99	2441.94	631.87
58	0.00	0.00	0.00	0.00	28.99	28.99	2412.95	631.78
57	0.00	0.00	0.00	0.00	28.99	28.99	2383.96	631.70
56	0.00	0.00	0.00	0.00	28.99	28.99	2354.97	631.62
55	0.00	0.00	0.00	0.00	28.99	28.99	2325.98	631.53
54	0.06	0.00	0.58	0.00	28.76	29.34	2296.99	631.45
53	0.19	0.02	1.94	0.19	28.14	30.27	2267.65	631.37
52	0.29	0.04	2.94	0.30	27.69	30.94	2237.38	631.28
51	0.40	0.05	4.04	0.41	27.21	31.66	2206.44	631.20
50	0.69	0.07	6.07	0.54	26.03	33.44	2174.78	631.12
49	1.03	0.09	10.28	0.71	24.50	35.58	2141.34	631.03
48	1.25	0.13	12.50	0.86	22.65	37.00	2105.76	630.95
47	1.42	0.13	14.22	1.01	22.90	38.13	2068.76	630.87
46	1.57	0.14	15.73	1.16	22.24	39.12	2030.62	630.78
45	1.71	0.16	17.07	1.30	21.64	40.02	1991.50	630.70
44	1.83	0.18	18.28	1.45	21.10	40.83	1951.49	630.62
43	1.94	0.20	19.38	1.60	20.60	41.58	1910.65	630.53
42	2.04	0.22	20.41	1.75	20.13	42.28	1869.07	630.45
41	2.13	0.23	21.35	1.88	19.70	42.93	1826.77	630.37
40	2.22	0.25	22.24	2.00	19.29	43.54	1783.86	630.28
39	2.31	0.27	23.07	2.12	18.91	44.11	1740.32	630.20
38	2.38	0.28	23.85	2.24	18.56	44.64	1696.22	630.12
37	2.46	0.29	24.59	2.35	18.21	45.16	1651.57	630.03
36	2.53	0.31	25.28	2.46	17.89	45.64	1606.42	629.95
35	2.59	0.32	25.94	2.57	17.59	46.10	1560.78	629.87
34	2.65	0.33	26.56	2.68	17.30	46.53	1514.68	629.78
33	2.72	0.35	27.15	2.78	17.02	46.95	1468.15	629.70
32	2.77	0.36	27.71	2.88	16.75	47.35	1421.20	629.62
31	2.82	0.37	28.25	2.98	16.50	47.73	1373.86	629.53
30	2.88	0.38	28.75	3.07	16.26	48.09	1326.13	629.45
29	2.92	0.40	29.24	3.17	16.03	48.44	1278.04	629.37
28	2.97	0.41	29.70	3.26	15.81	48.77	1229.61	629.28
27	3.01	0.42	30.12	3.35	15.60	49.08	1180.94	629.20
26	3.05	0.43	30.53	3.44	15.40	49.37	1131.76	629.12
25	3.09	0.44	30.94	3.52	15.20	49.67	1082.39	629.03
24	3.13	0.45	31.31	3.61	15.03	49.94	1032.72	628.95
23	3.17	0.46	31.66	3.69	14.85	50.20	982.78	628.87
22	3.20	0.47	31.99	3.77	14.69	50.45	932.58	628.78
21	3.23	0.48	32.31	3.84	14.53	50.68	882.14	628.70
20	3.26	0.49	32.61	3.91	14.38	50.91	831.46	628.62
19	3.29	0.50	32.90	3.98	14.24	51.12	780.55	628.53
18	3.32	0.51	33.18	4.05	14.10	51.33	729.42	628.45
17	3.34	0.51	33.44	4.12	13.97	51.53	678.10	628.37
16	3.37	0.52	33.69	4.18	13.85	51.71	626.57	628.28
15	3.39	0.53	33.93	4.24	13.73	51.89	574.86	628.20
14	3.41	0.54	34.15	4.29	13.62	52.05	522.97	628.12
13	3.44	0.54	34.37	4.35	13.50	52.22	470.92	628.03
12	3.46	0.55	34.58	4.40	13.40	52.37	419.60	627.95
11	3.48	0.56	34.79	4.44	13.30	52.53	368.02	627.87
10	3.51	0.59	35.05	4.76	13.07	52.88	313.80	627.78
9	0.00	0.00	0.00	0.00	28.99	28.99	260.92	627.70
8	0.00	0.00	0.00	0.00	28.99	28.99	231.93	627.62
7	0.00	0.00	0.00	0.00	28.99	28.99	202.94	627.53
6	0.00	0.00	0.00	0.00	28.99	28.99	173.95	627.45
5	0.00	0.00	0.00	0.00	28.99	28.99	144.96	627.37
4	0.00	0.00	0.00	0.00	28.99	28.99	115.96	627.28
3	0.00	0.00	0.00	0.00	28.99	28.99	86.97	627.20
2	0.00	0.00	0.00	0.00	28.99	28.99	57.98	627.12
1	0.00	0.00	0.00	0.00	28.99	28.99	28.99	627.03

SUMMARY OF ACREAGE

GROSS PARCEL AREA = ±38,302 SF (±0.879 ACRES)

PRE-CONSTRUCTION
 IMPERVIOUS AREA = ±30,056 SF (0.69 ACRES)
 50% IMPERVIOUS CREDIT: 0.5 * 30,056 SF = 15,028 SF (0.34 ACRES)
 PERVIOUS AREA = ±8,276 SF (0.19 ACRES)

POST-CONSTRUCTION
 IMPERVIOUS AREA = ±30,493 SF (±0.70 ACRES)
 PERVIOUS AREA = ±7,809 SF (±0.18 ACRES)

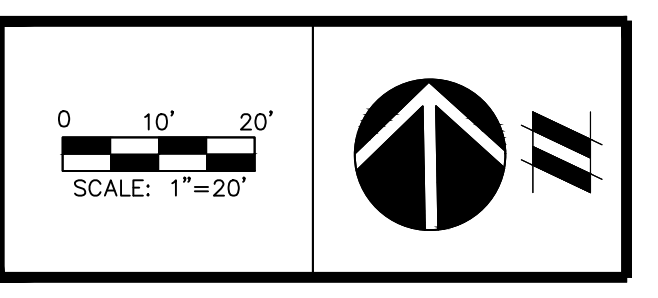
STORMWATER RUNOFF CALCULATIONS

PRE-DEVELOPMENT CONDITIONS			POST-DEVELOPMENT CONDITIONS		
Surface Cover	Runoff Coefficient, C	Area of Surface Cover (ft²)	Surface Cover	Runoff Coefficient, C	Area of Surface Cover (ft²)
Lawns	0.1		Lawns	0.1	7,809
Forest	0.15	23,274	Forest	0.15	
Gardens	0.25		Gardens	0.25	
Meadow	0.3		Meadow	0.3	
Gravel	0.6		Gravel	0.6	
Brick/Pavers	0.8		Brick/Pavers	0.8	
Asphalt/Concrete	0.9	15,028	Asphalt/Concrete	0.9	30,493
Roofs	0.9		Roofs	0.9	
Total Site Size (ft²)		38,302	Total Site Size (ft²)		38,302
Total Site Size (acres)		0.88	Total Site Size (acres)		0.88
Runoff Coefficient (weighted average)	0.44		Runoff Coefficient (weighted average)	0.74	
Flow Rate (ft³/s): 1 year - 30 minute event		0.64	Flow Rate (ft³/s): 1 year - 30 minute event		1.07
Runoff Volume (ft³): 2 year - 24 hour event		3,645	Runoff Volume (ft³): 2 year - 24 hour event		6,046
Runoff Volume (ft³): 10 year - 24 hour event		5,164	Runoff Volume (ft³): 10 year - 24 hour event		8,565
Treatment Volume = Site Area x 0.083 ft		Standard 1	Required Treatment Volume (ft³)		3,192
i = 1.65 inches/hour for Treatment (1 year - 0.5 hour)		Standard 1	Required Treatment Flow Rate (ft³/s)		1.07
i = 0.108 inches/hour for Storage (2 year - 24 hour)		Standard 2, 3, 7	Required Storage Volume (ft³): 2 year - 24 hour		2,401
i = 0.153 inches/hour for Storage (10 year - 24 hour)		Standard 3, 7 NFP	Required Storage Volume (ft³): 10 year - 24 hour		3,401

SITE BENCHMARKS

BENCHMARK 1
 SET BENCH TIE IN EAST FACE OF UTILITY POLE LOCATED IN NORTH RIGHT OF WAY MAIN STREET
 ELEVATION: 935.19' (NAVD88)

BENCHMARK 2
 SET RAILROAD SPIKE IN NORTH FACE OF UTILITY POLE LOCATED IN SOUTH RIGHT OF WAY OF MAIN STREET
 ELEVATION: 935.35' (NAVD88)



811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR PERSONS OCCASIONED BY THE WORK OF ANY NEARBY STRUCTURES OR ANY OTHER PERSONS.



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REVISIONS:

ISSUE DATE:

DRAWN BY: RPF

PANDA PROJECT #: D23353
 ARCH PROJECT #:
 ENG PROJECT #: 22006626

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 SHELBY TOWNSHIP, MI 48315
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PANDA EXPRESS

4300 W. MAIN ST.
 KALAMAZOO, MI

C07
 PRELIMINARY S.W.M.
 PLAN



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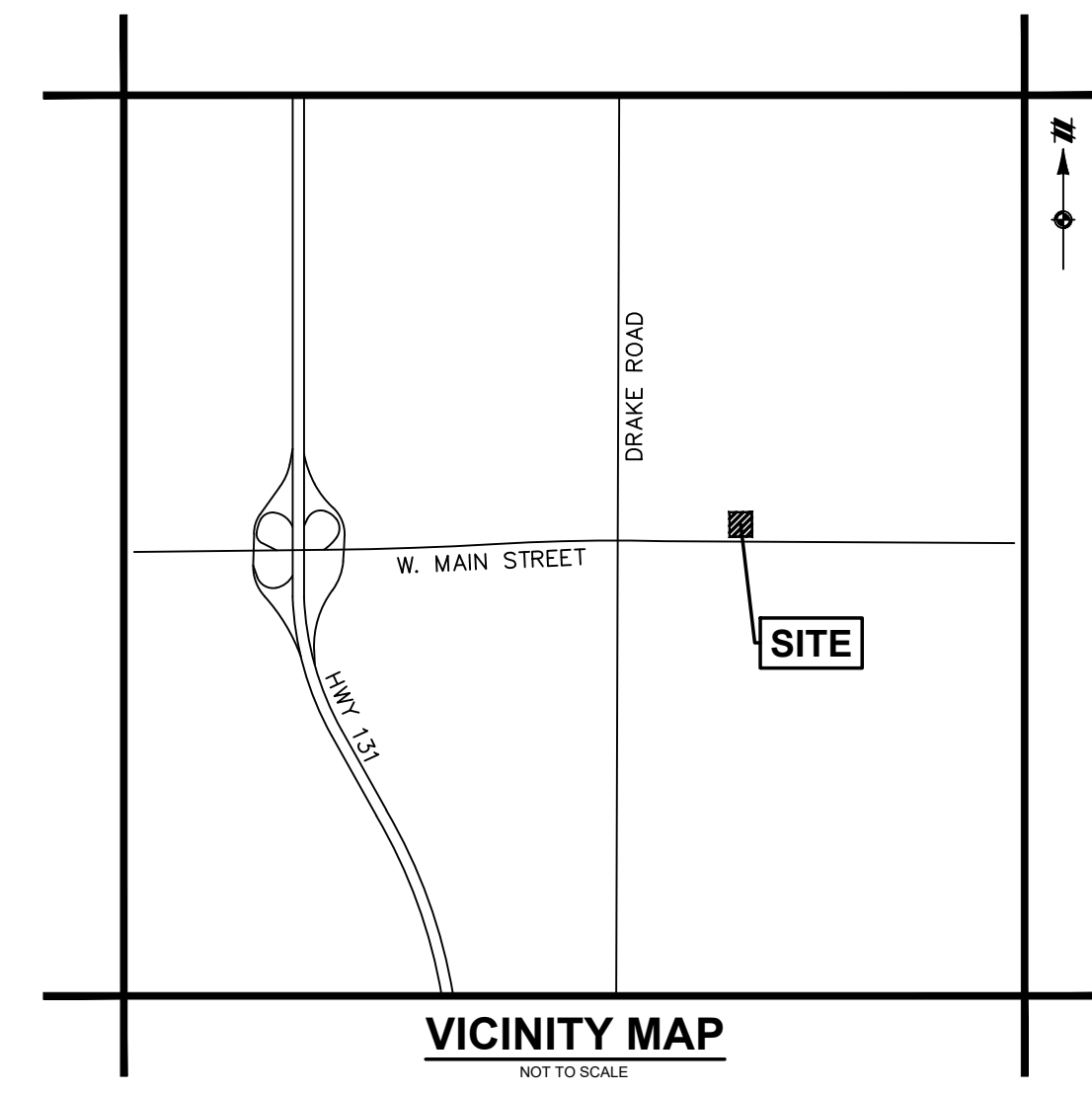


PANDA EXPRESS

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KALAMAZOO, MI

C08

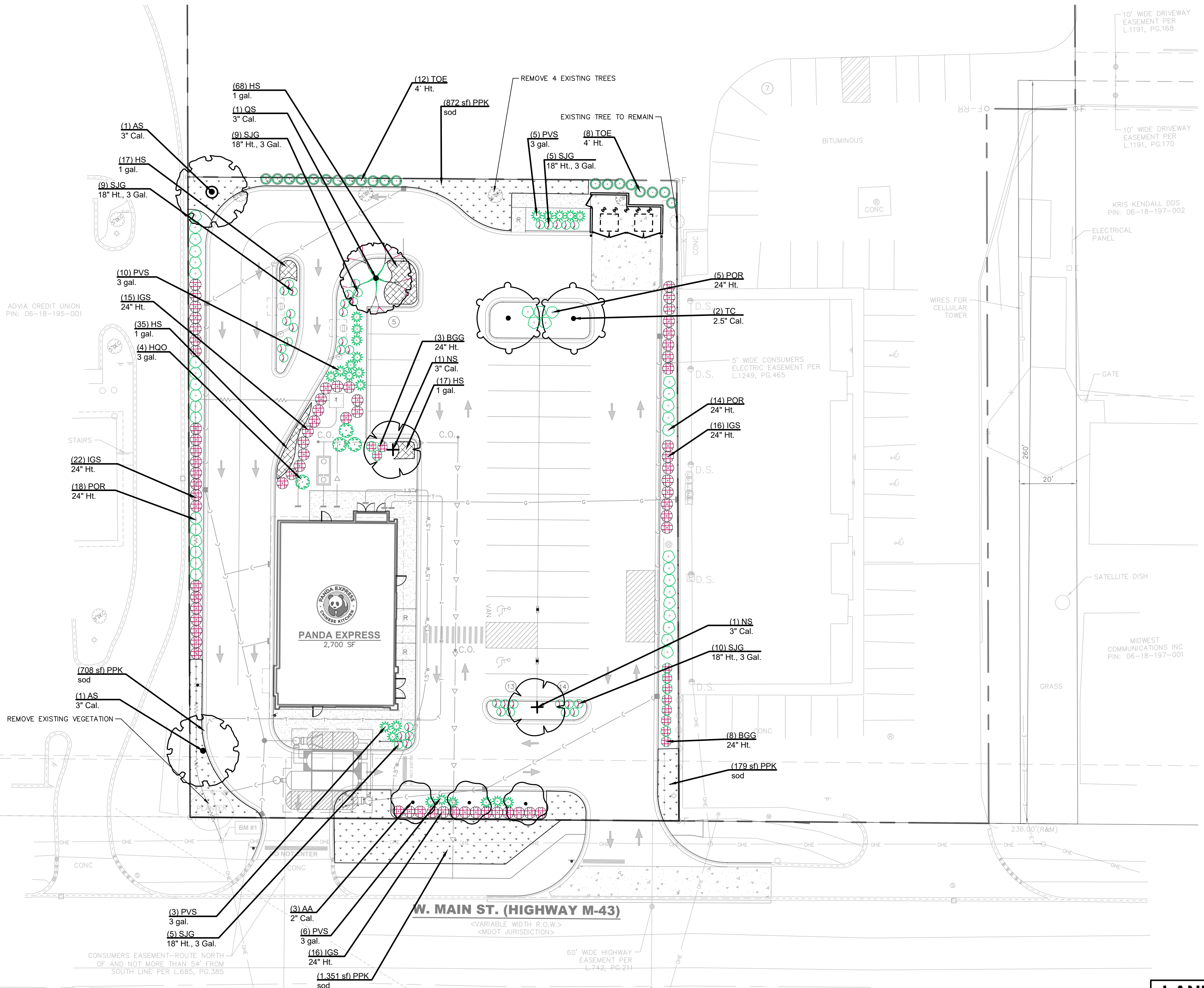
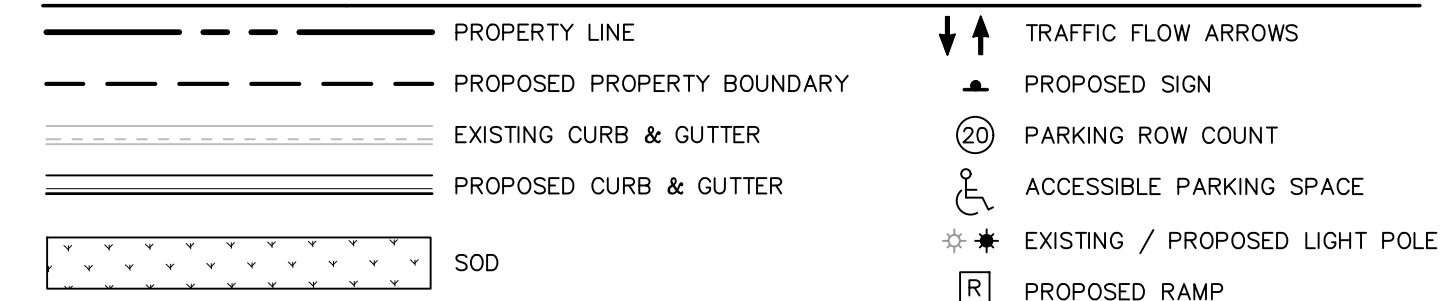
PRELIMINARY LANDSCAPING PLAN



NOTES

- ALL LAWN AND LANDSCAPED AREAS SHALL BE PROVIDED WITH FOUR INCHES OF TOPSOIL OR COMPOST ON UNTILLED SURFACES OR TWO INCHES OF TOPSOIL OR COMPOST ON TILLED SURFACES.
- CONTRACTOR SHALL PROVIDE AN IRRIGATION DESIGN FOR ALL ON-SITE AREAS WITHIN THE LIMITS OF DISTURBANCE AND PROVIDE TO OWNER PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIAL SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

LEGEND

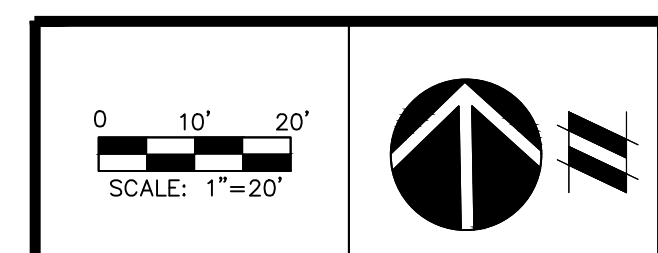


PLANT LIST

Trees	Quantity	Botanical	Common	Size (MIN.)	Container	Spacing	Remarks	Percentage	% Native	% Non-Native
AS	2	Acer saccharum	Sugar Maple	2.5" Cal.	B&B		Well balanced head, Straight trunk	20.0%	20.0%	0.0%
AA	3	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2" Cal.	B&B or Cont.		Straight trunk, full crown	30.0%	30.0%	0.0%
NS	2	Nyssa sylvatica	Sour Gum	2.5" Cal.	B&B or Cont.		Full, well balanced canopy	20.0%	20.0%	0.0%
OS	1	Quercus shumardii	Shumard Red Oak	2.5" Cal.	B&B or Cont.		Straight trunk, even crown	10.0%	10.0%	0.0%
TC	2	Tilia cordata	Littleleaf Linden	2.5" Cal.	B&B		Well balanced head, Straight trunk	20.0%	0.0%	20.0%
	10							100.00%	80.0%	20.0%
Shrubs	Quantity	Botanical	Common	Size (MIN.)	Container	Spacing	Remarks	% Native	% Non-Native	
BGG	11	Buxus x 'Green Gem'	Green Gem Boxwood	24" Ht.	Pot	42" o.c.	Full	0.0%	6.1%	
CSR	4	Hydrangea quercifolia	Oakleaf Hydrangea	3 gal.	Pot	60" o.c.	Full pot	2.2%	0.0%	
IGS	67	Ilex glabra 'Shamrock'	Inkberry	24" Ht.	Pot	48" o.c.	Full even form	37.0%	0.0%	
PVH	24	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	3 gal.	Pot	48" o.c.	Full pot	13.3%	0.0%	
POD	37	Physocarpus opulifolius 'Donna May' TM	Little Devil Dwarf Ninebark	24" Ht.	Pot	48" o.c.	Full	20.4%	0.0%	
SIG	38	Spiraea japonica 'Goldflame'	Goldflame Spirea	18" Ht.	Pot or Cont.	36" o.c.	Full even form	0.0%	21.0%	
TOE	20	Thuja occidentalis 'Emerald'	Emerald Arborvitae	4" Ht.	Pot or B&B	48" o.c.	Full to ground	0.0%	11.0%	
	181							72.9%	38.1%	
Ground C.	Quantity	Botanical	Common	Size	Container	Spacing	Remarks			
HS	137	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	Pot	18" o.c.	Full pot			
PPK	3,176 S.F.	Poa pratensis	Kentucky Bluegrass	sod						

LANDSCAPE REQUIREMENTS SUMMARY

ITEM	REQUIREMENT	QTY REQUIRED	QTY PROVIDED	FORMULA
TREE CANOPY REQUIREMENT	1 TREE PER ACRE	2 TREES	9 TREES	1.295 AC = 1.295 / 1 = 1.295 = 2 TREES
ROAD FRONTAGE LANDSCAPE	1 TREE PER 35 LF AND 1 SHRUB PER 6 LF OF ROAD FRONTAGE	4 TREES, 20 SHRUBS	4 TREES (3 SERVICEBERRY, 1 MAPLE), 22 SHRUBS (HOLLIES AND SWITCH GRASS)	120 LF / 35 LF = 3.43 = 4 TREES 120 LF / 6 LF = 20 SHRUBS
PARKING LOT LANDSCAPE	5% OF PARKING AREA TO BE LANDSCAPED 1 TREE PER 300 SF OF LANDSCAPE AREA	1205.5 SF LANDSCAPE AREA 5 TREES	1355 SF LANDSCAPE AREA 5 TREES (1 OAK, 2 LINDEN, 2 BLACKGUM)	24,050 SF OF PARKING AREA 24,050 SF x 0.05 = 1202.5 SF 1205.5SF / 300 = 4.01 = 5 TREES



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS.

GENERAL NOTES

- 1. LANDSCAPE CONTRACTOR (CONTRACTOR) SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTINGS AND RELATED WORK. LANDSCAPE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS ON PROPERTY WITH THE GENERAL CONTRACTOR AND BY CALLING 811 PRIOR TO STAKING PLANT LOCATIONS. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES CONTACT LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE WITH ANY CONCERNS. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
- 2. PRIOR TO ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE Drip Line OF ALL TREES AND SHRUBS AND MUST BE MAINTAINED AS APPROVED FOR THE DURATION OF THE PROJECT. NO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS.
- 3. LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
- 4. WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUB MASSINGS ARE FOUND ON SITE, WHETHER SHOWN ON THE DRAWING OR NOT, THEY SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED. ANY QUESTION REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- 5. ALL EXISTING TREES TO REMAIN TO BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
- 6. NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT AND OWNER BY THE LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.
- 7. ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSESMEN. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS OF THE AUTHORITY HAVING JURISDICTION AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION.
- 8. CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY 4" TOPSOIL DEPTH IN ALL PLANTING BEDS AND 4" TOPSOIL DEPTH IN ALL LAWN AREAS. BACKFILL AND CROWN PARKING LOT ISLANDS 6" ABOVE ADJACENT CURBS WITH TOPSOIL BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
- 9. ACCEPTANCE OF GRADING AND SOD/SEED SHALL BE BY LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE. THE LANDSCAPE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY UNTIL FINAL ACCEPTANCE HAS BEEN RECEIVED. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REPLACEMENT OF WASH-OUTS AND OTHER OPERATIONS NECESSARY TO KEEP SOD/SEED IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE, THE OWNER WILL ASSUME ALL MAINTENANCE RESPONSIBILITIES.
- 10. PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD AS REQUIRED.
- 11. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- 12. OWNER OR OWNER'S REPRESENTATIVE SHALL INSPECT LANDSCAPE INSTALLATION AND HAVE THE RIGHT TO REJECT AND WITHHOLD PAYMENT ON ANY PLANT MATERIAL(S) OF DAMAGED OR POOR QUALITY OR NOT MEETING SPECIFICATIONS.
- 13. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF SITE AT THE COMPLETION OF LANDSCAPING EACH DAY. AT ALL TIMES THE SIDEWALKS SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS. REMOVE SURPLUS SOIL AND WASTE MATERIAL, TRASH AND DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF SAME IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
- 14. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL EROSION AND DUST CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION. THE LANDSCAPE CONTRACTOR SHALL PREVENT EROSION OF SOIL AND ENTRY OF SOIL-BEARING WATER AND AIRBORNE DUST ONTO ADJACENT PROPERTIES AND INTO THE PUBLIC STORMWATER FACILITIES. REFER TO EROSION CONTROL PLANS FOR DETAILS.

MANUFACTURER'S INSTRUCTIONS UNLESS NOTED OTHERWISE.

- 4. MULCH MATERIAL: ALL MULCH TO BE 4"-6" ROUNDED RIVER BED GRAVEL WITH 8" MIN. DEPTH WITH WEED PREVENTION FABRIC. MULCH ALL PLANTING BEDS, 2"-0" STRIP ADJACENT TO LANDSCAPED AREA AROUND BUILDING AND TRASH ENCLOSURE. ALL EVERGREEN AND DECIDUOUS TREES TO RECEIVE 6" DEEP STONE MULCH WITH NO STONE IN DIRECT CONTACT WITH TREE TRUNK. EXTENT OF MULCH TO BE 4"-0" DIA. AT TREES.
- 5. TREE STAKING: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO STAKE AND/OR GUY THE TREES ACCORDING TO THE DETAILS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY STEP NECESSARY TO MAINTAIN THE TREES AND SHRUBS IN AN UPRIGHT AND PLUMB CONDITION AT ALL TIMES UNTIL THE END OF THE PLANT GUARANTEE PERIOD. ESPECIALLY WHERE VANDALISM, SOIL OR WIND CONDITIONS ARE A PROBLEM. AT END OF GUARANTEE PERIOD ALL STAKES SHALL BE REMOVED BY LANDSCAPE CONTRACTOR. ALL STAKES USED FOR TREE SUPPORTS SHALL POINT AWAY FROM ANY AND ALL CIRCULATION ROUTES.
- 6. TREE WRAPPING: WRAPPING MATERIAL SHALL BE QUALITY, HEAVY WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.
- 7. EDGING: EDGING SHALL BE METAL OR SPADE EDGED
- 8. FERTILIZER: JUMP-SHOT ROOT STIMULATOR AS MANUFACTURED BY ACME, OR APPROVED EQUAL, SHALL BE APPLIED TO THE SOIL BACKFILL OF EACH PLANT DURING INSTALLATION.
- 9. PLANT SPACING: MEASURE TREES AND SHRUBS ACCORDING TO ANSI Z60.1 STANDARDS. TAKE CALIPER MEASUREMENTS 6 INCHES ABOVE GROUND FOR TREES UP TO 4" CALIPER AND 12 INCHES ABOVE GROUND FOR LARGER TREES. ALWAYS HANDLE BALLED AND BURLAPPED MATERIAL BY THE ROOT BALL. PLANT MATERIAL SHALL BE DELIVERED TO THE SITE AND PLANTED THE SAME DAY.
- 10. PLANTING PLAN: ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS. PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES. RESPECT STATED DIMENSIONS. DO NOT SCALE DRAWINGS.

MAINTENANCE / WARRANTY

- 1. MAINTENANCE OF PLANT MATERIALS AND LAWN AREAS SHALL BEGIN IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN THE PERIOD STATED IN PANDA EXPRESS SPECIFICATIONS
- 2. AFTER REQUIRED MAINTENANCE PERIOD, THE OWNER, UPON REQUEST, WILL MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY. UNACCEPTABLE WORK SHALL BE REPAIRED OR REPLACED AND RESPECTED BEFORE FINAL ACCEPTANCE IS GRANTED.
- 3. A WRITTEN WARRANTY SHALL BE PROVIDED TO THE OWNER GUARANTEEING THAT ALL PLANT MATERIALS, SOD, AND/OR SEEDING AREAS WILL BE THRIVING FOR THE FOLLOWING STATED PERIODS: TREES, SHRUBS, AND GROUND COVERS - ONE YEAR AFTER FINAL ACCEPTANCE; SOD AND SEEDING AREAS - 90 DAYS AFTER FINAL ACCEPTANCE; PERENNIALS - 90 DAYS AFTER FINAL ACCEPTANCE.
- 4. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS REGARDING MAINTENANCE OF EACH TYPE OF VEGETATION. THE OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE MATERIALS DURING THE WARRANTY PERIOD AS OUTLINED IN THE MAINTENANCE INSTRUCTIONS. THE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE SITE AND WILL INFORM THE OWNER OF ANY LACK OF PROPER MAINTENANCE IN WRITING. OWNER'S FAILURE TO COMPLY WITH THE MAINTENANCE PROGRAM SHALL RENDER THE WARRANTY NULL AND VOID.
- 5. THE CONTRACTOR IS NOT RESPONSIBLE FOR ACTS OF NATURE INCLUDING ABNORMAL WEATHER CONDITIONS, EROSION, VANDALISM, NOR DAMAGES BY OTHERS. IF ANY CONDITIONS BEYOND THE CONTROL OF THE CONTRACTOR SHOULD OCCUR, THE MATERIALS AFFECTED WILL NO LONGER BE COVERED BY THE WARRANTY.

PLANT MATERIALS

- 1. PROVIDE PLANTS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY SHOWN AND SCHEDULED AND IN CONFORMANCE WITH THE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANTS SHALL HAVE BEEN GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE.
- 2. ALL PLANTS SHALL BE FULL, WELL-BRANCHED PLANTS CHARACTERISTIC OF THE SPECIES. PLANTS SHALL BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT.
- 3. PLANT STOCK SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO CONDITIONS IN THE LOCALITY OF THE PROJECT.
- 4. LABEL AT LEAST ONE PLANT EACH KIND WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- 5. PROVIDE FRESHLY DIG BALLED & BURLAPPED PLANT MATERIALS. DO NOT DROP BALLED & BURLAPPED STOCK DURING DELIVERY.
- 6. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS UNTIL PLANTING TIME.

INSTALLATION

- 1. INSTALL TREES AND SHRUBS ACCORDING TO STANDARD DETAILS SHOWN ON THE PLAN.
- 2. ALL TREE SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- 3. ALL TREE SAUCERS AND SHRUB BEDS SHALL BE MULCHED WITH A 3-INCH LAYER OF ORGANIC TRIPLE SHREDED HARDWOOD BARK MULCH, NON-ORGANIC MULCHES SUCH AS GRAVEL, CRUSHED BRICK, LAVA ROCK, ETC. ARE UNACCEPTABLE.
- 4. TREE GUYING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.

- 5. APPLY 12 CUBIC FEET OF PEAT MOSS PER 100 SQUARE FEET AND 20 POUNDS OF 8-8 FERTILIZER PER 100 SQUARE FEET OF GROUND COVER PLANTING BEDS. ROTOTILL THE BEDS TO A DEPTH OF 6 INCHES AND SMOOTH TO AN EVEN AND UNIFORM SURFACE. PLANT GROUND COVER MATERIALS, APPLY 2 INCHES OF ORGANIC MULCH, AND WATER.

PLANTING NOTES

- 1. NO PLANTING TO BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- 2. SEE CIVIL/SITE PLAN FOR ALL SITE DIMENSIONS, SQUARE FOOTAGES, PARKING CALCULATIONS, AND DETAILS OF ALL SITE IMPROVEMENTS.
- 3. IF THE LANDSCAPE CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIAL ESTABLISHMENT, SURVIVAL, OR GUARANTEE, THEY SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 4. PRIOR TO ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE Drip Line OF ALL TREES AND SHRUBS (TO BE PROTECTED) ACCORDING TO THE TREE PROTECTION DETAIL AND MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT. NO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS WITHOUT APPROVAL.
- 5. ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WHEN GROWN IN NURSERY CONDITIONS. IF WET, CLAY SOILS OR POOR DRAINING SOILS ARE EVIDENT, PLANT HIGHER. REMOVE ALL TWINE, WIRE AND BURLAP FROM TOP 1/3 OF ROOT BALL AND FROM TREE TRUNKS.
- 6. ONE SHRUB PER TYPE AND SIZE IN EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NOMENCLATURE) WITH A PLASTIC TAG WHICH SHALL NOT BE REMOVED PRIOR TO OWNER ACCEPTANCE.
- 7. SEED AND/OR SOD ALL AREAS DISTURBED DUE TO GRADING AND CONSTRUCTION ACTIVITIES, WHERE SOD/SEED ABUITS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND. REFER TO PLAN FOR SOD/SEED LOCATIONS.
- 8. PRUNE, THIN AND SHAPE TREES AND SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. APPLY MINIMUM 4" MULCH CLIP AT ALL TREES NOT PLANTED IN PLANTING BEDS.
- 9. EXISTING LAWN AREAS TO BE SAVED AND AREAS THAT ARE DAMAGED DURING CONSTRUCTION MUST BE INSPECTED TO DETERMINE VIABILITY. IF THE EXISTING LAWN IS FOUND TO BE LEVEL, HEALTHY, DENSE, & FREE FROM WEEDS, LAWN MAY NOT REQUIRE REPLACEMENT OR RENOVATION. IF RENOVATION IS REQUIRED OR IS PART OF THE APPROVED PLAN, THEN THE FOLLOWING REQUIREMENTS WILL APPLY: EXISTING LAWN FOUND TO BE IN POOR CONDITION MUST FIRST BE SPRAYED WITH ROUND-UP (OR EQUAL) TO KILL THE EXISTING LAWN AND WEED AREAS. WAIT A MIN. OF (10) DAYS FOR THE HERBICIDE TO TAKE EFFECT, THEN REMOVE ALL DEAD SOD & WEEDS TO A MIN. DEPTH OF (2) INCHES. ADD A MIN. OF 6 INCHES OF NEW TOPSOIL TO ALL LAWN AREAS. BACKFILL AND COMPACT TOPSOIL TO THE TOP OF ALL CURBS & WALKS PRIOR TO SOODING. REGRADE TO ELIMINATE ALL BUMPS & DEPRESSIONS AND RESOD ALL AREAS.

- EXISTING LAWN FOUND TO BE IN GOOD CONDITION, BUT WITH BARE, SPARSE OR WEEDY AREAS MUST BE RENOVATED BY FILLING IN LOW AREAS, RAKING, OVERSEEDING AND TOP DRESSING ALL SPARSE AND BARE SPOTS AND BY INITIATING A WEED AND FEED PROGRAM.

- 10. CONVERSION OF ALL ASPHALT AND GRAVEL AREAS TO LANDSCAPE SHALL BE DONE IN THE FOLLOWING MANNER:

- A. REMOVE ALL ASPHALT, GRAVEL AND COMPACTED EARTH TO A DEPTH OF 24"-30" DEPENDING ON THE DEPTH OF SUB BASE AND DISPOSE OF OFF SITE.
- B. REPLACE EXCAVATED MATERIAL W/ GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) TO A MIN. OF 2" ABOVE TOP OF CURB AND SIDEWALK, ADD 4"-6" OF TOPSOIL AND GROOM TO A MIN. OF 6" ABOVE ADJACENT CURB AND WALK AFTER EARTH SETTLING, UNLESS NOTED OTHERWISE ON THE PLANS.

IF CONVERSION TO LANDSCAPE OCCURS IN AN EXISTING (OR BETWEEN) LANDSCAPE AREAS, REPLACE EXCAVATED MATERIAL TO 4"-6" BELOW ADJACENT EXISTING GRADE W/ GOOD MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) AND ADD 4"-6" OF TOPSOIL TO MEET EXISTING GRADES AFTER EARTH SETTLING.

- 11. ALL TREE PITS MUST BE TESTED FOR PROPER DRAINAGE PRIOR TO PLANTING TREES. A DRAINAGE SYSTEM MUST BE INSTALLED IF PLANTING PIT DOES NOT DRAIN SUFFICIENTLY. (REQUIRED IN HEAVY CLAY SOILS)
- 12. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES & SHRUBS.
- 13. ALL MULCH RINGS AND SHRUB BEDS IN LAWN AREAS SHALL BE EDGED WITH A MANICURED EDGE OR WITH MANUFACTURED EDGING AS INDICATED.
- 14. MULCHING AND WATERING OF ALL PLANTS & TREES SHALL BE IMMEDIATELY OR WITHIN 16 HOURS AFTER INSTALLATION.

LAWN INSTALLATION

- 1. LAWN AREAS SHALL BE PREPARED ACCORDING TO THE SECTION BELOW ENTITLED "SEEDBED PREPARATION".
- 2. LOCALLY-GROWN SOD SHALL BE PROVIDED IN AREAS WHERE SEEDING IS NORMALLY UNSUCCESSFUL OR WILL BE UNSUCCESSFUL DUE TO CLIMATE, SEASON, OR OTHER TEMPORARY CONSTRAINT. SOD SHALL BE STRONGLY ROOTED, FREE OF WEEDS, AND OF UNIFORM THICKNESS WITH NO MORE THAN 1.5 INCHES OR LESS THAN 1 INCH OF SOIL.
- 3. SOD SHALL BE TIGHTLY-FITTED TOGETHER. ENDS AND EDGES SHALL MEET WITHOUT OVERLAP AND JOINTS SHALL BE STAGGERED BETWEEN ADJACENT ROWS. AFTER INSTALLATION, SOD SHALL BE THOROUGHLY WATERED. ON SLOPES STEEPER

THAN 2:1, SOD SHALL BE HELD IN PLACE WITH WOODEN STAKES MEASURING 1 INCH SQUARE BY 6 INCHES LONG. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE SOD'S SOIL LAYER.

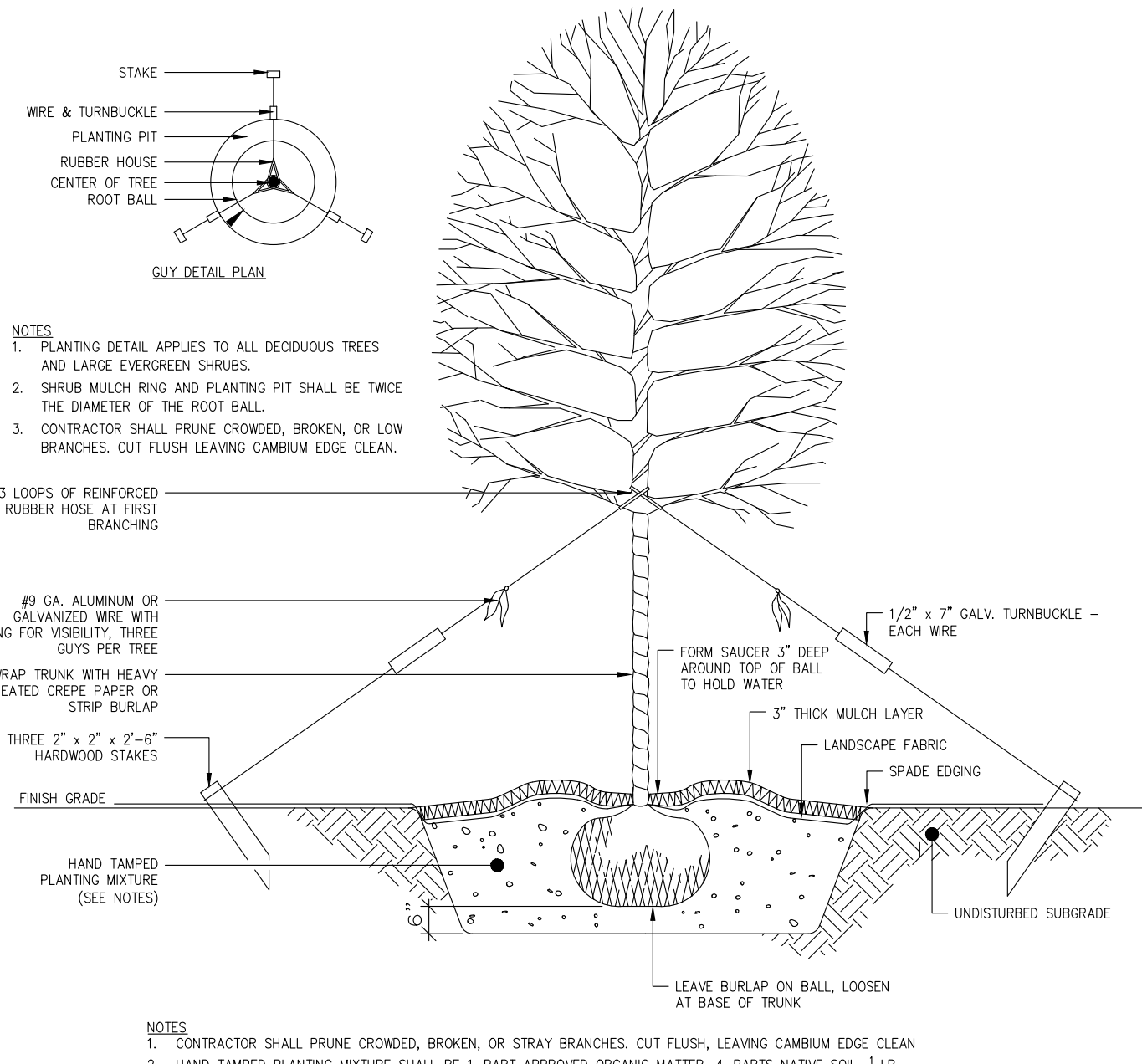
- 4. PROVIDE GRASS SEED THAT IS FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA. PROVIDE SEED MIX OR SEED MIX WITH RECORD OF SUCCESS IN LOCALITY OF PROJECT OR PER PROJECT SPECIFICATIONS. REFER TO PLAN.
- 5. APPLY SEED AT THE APPROPRIATE RATE, PER M.D.Q.T. SPECIFICATIONS, FOR ESTABLISHING A NEW LAWN. SOU SEED USING A SPREADER OR SEEDING MACHINE. DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITY IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. RAKE SEED LIGHTLY INTO TOP 1/8-INCH OF SOIL, ROLL LIGHTLY, AND WATER WITH A FINE SPRAY.

- 6. PROTECT ALL SEEDING AREAS AGAINST EROSION BY SPREADING A CLEAN, SEED FREE SALT MAY OR THRESHED STRAW OF WHEAT, RYE, OATS, OR BARLEY. SPREAD UNIFORMLY TO FORM A CONTINUOUS BLANKET NOT LESS THAN 1.5 INCHES LOOSE MEASUREMENT OVER SEEDING AREA.
- 7. TREATMENTS SUCH AS JUTE MESH, EXCELSIOR MATTING, OR FIBERGLASS ROVING SHALL BE USED TO STABILIZE DITCHES OR STEEP SLOPES SUSCEPTIBLE TO EROSION. THE TREATMENT SHALL BE INSTALLED PRIOR TO THE MULCHING OPERATION.

- 8. CONTRACTOR SHALL PRUNE CROWDED, BROKEN, OR STRAY BRANCHES. CUT FLUSH, LEAVING CAMBRIDGE CLEAN.
- 9. RUBBER HOSE (SEE NOTES)

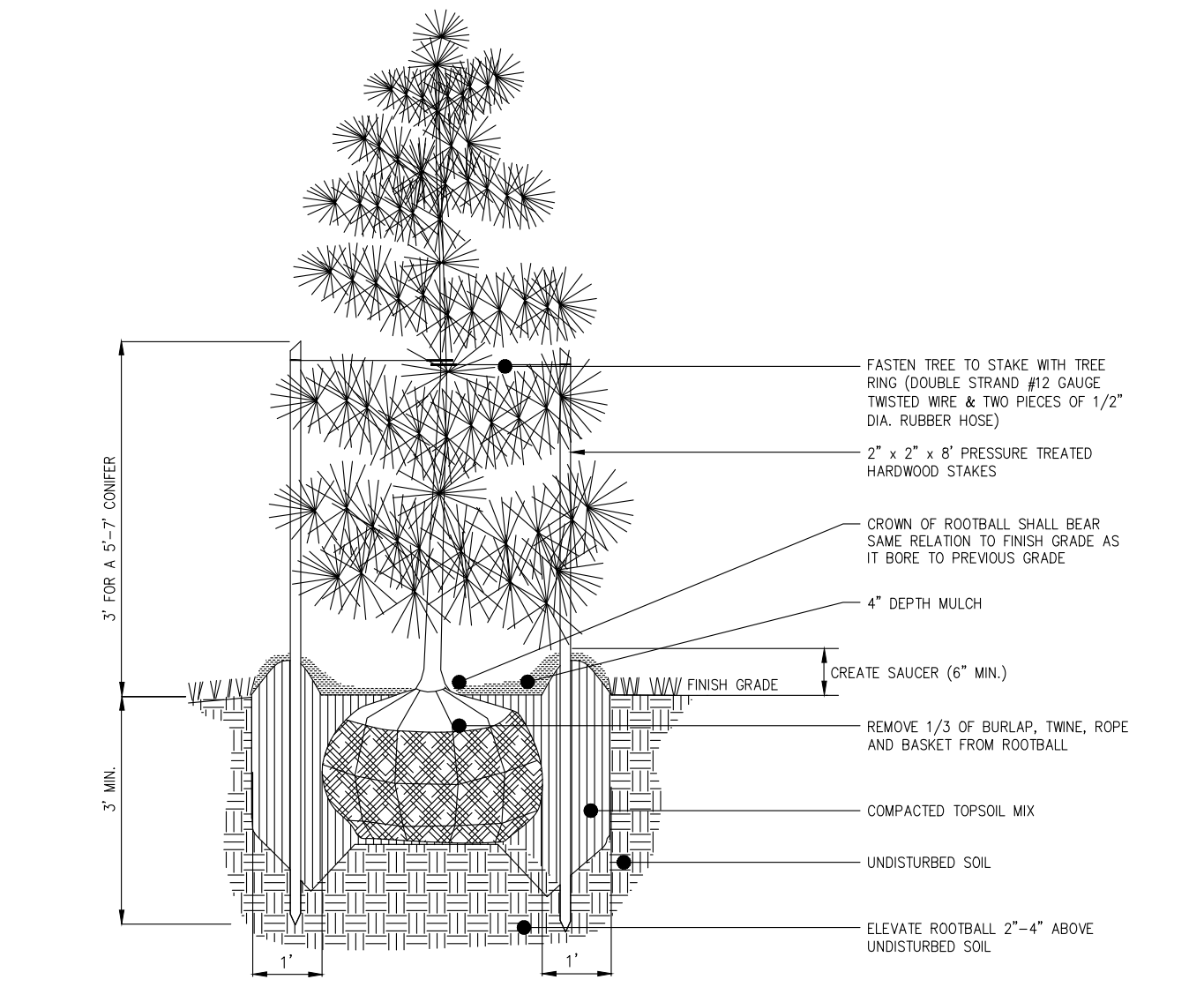
SEEDBED PREPARATION

- 1. ALL DISTURBED AREAS SHALL BE DRESSED TO THE TYPICAL SECTIONS AND/OR GRADES SHOWN AND FLOWED TO A DEPTH OF 5 INCHES. THE TOP 2 INCHES SHALL BE PULVERIZED TO PROVIDE A UNIFORM SEEDBED.
- 2. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER DEBRIS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. SOIL LEVEL SHALL BE APPROXIMATELY 1 INCH BELOW ALL TOPS OF CURBS AND WALKWAYS.
- 3. APPLY LIME AND FERTILIZER WITH NECESSARY EQUIPMENT TO ENSURE UNIFORM DISTRIBUTION OF THE MATERIALS. THE HAND/RBUCKET METHOD IS NOT ACCEPTABLE. THE RATES AND TYPES OF MATERIALS TO BE APPLIED ARE AS FOLLOWS: TURFGRADE FERTILIZER WITH SLOW RELEASE NITROGEN (E.G. 18-24-10) - RATE THAT WILL PROVIDE 5 LBS. OF PHOSPHORUS PER 1000 SQUARE FEET LIMESTONE - 75 LBS. PER 1000 SQUARE FEET (LIMESTONE MAY BE WAIVED IF EXISTING PH IS GREATER THAN 5.5.)
- 4. MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.



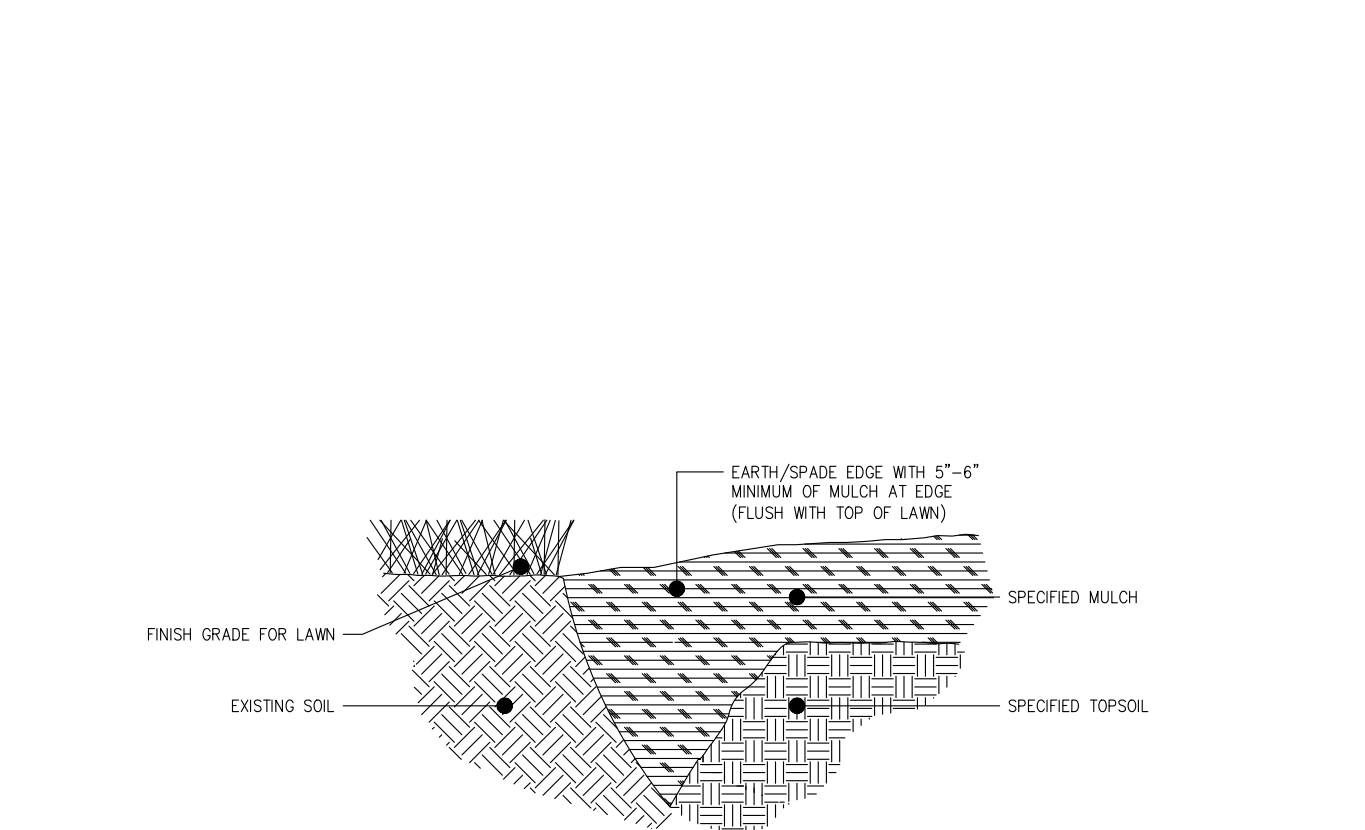
DECIDUOUS CANOPY TREE PLANTING DETAIL

NOT TO SCALE



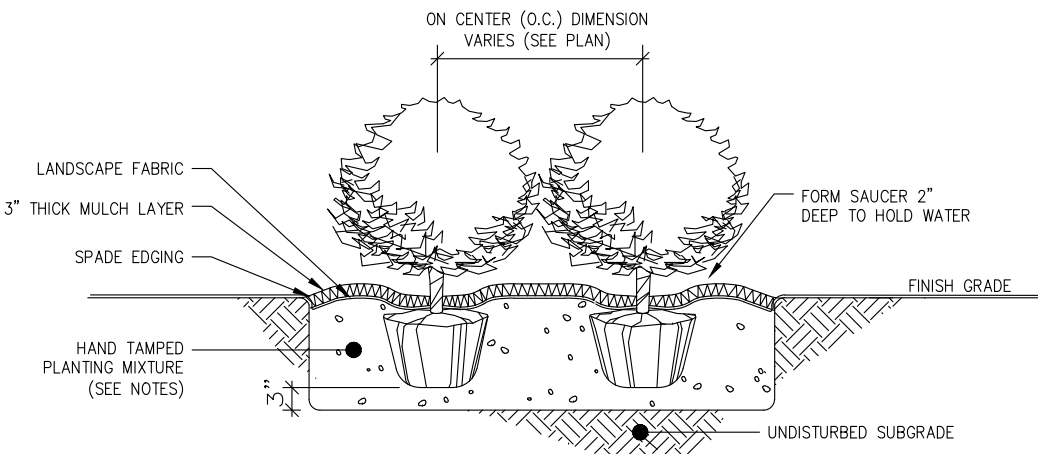
CONIFEROUS TREE PLANTING DETAIL

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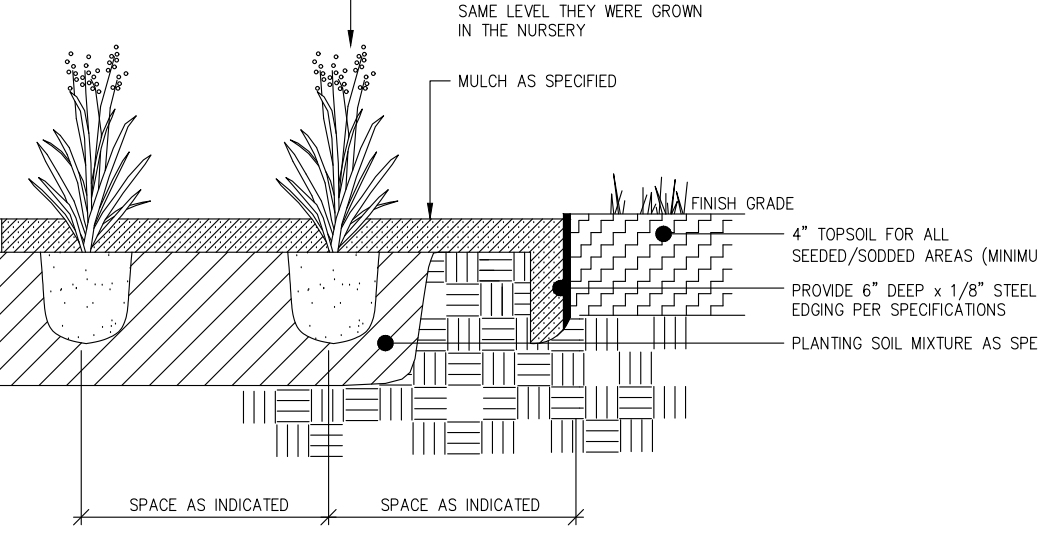
EARTH/SPADE EDGE DETAIL

NOT TO SCALE



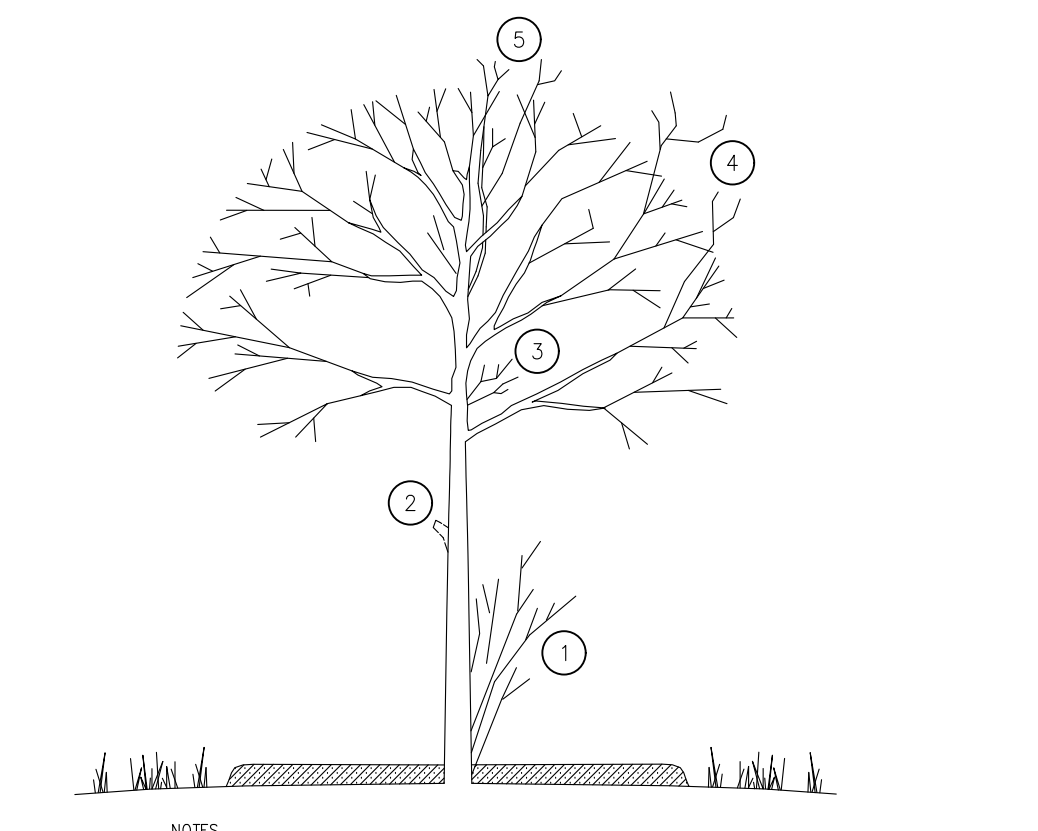
CONTAINER SHRUB PLANTING DETAIL

NOT TO SCALE



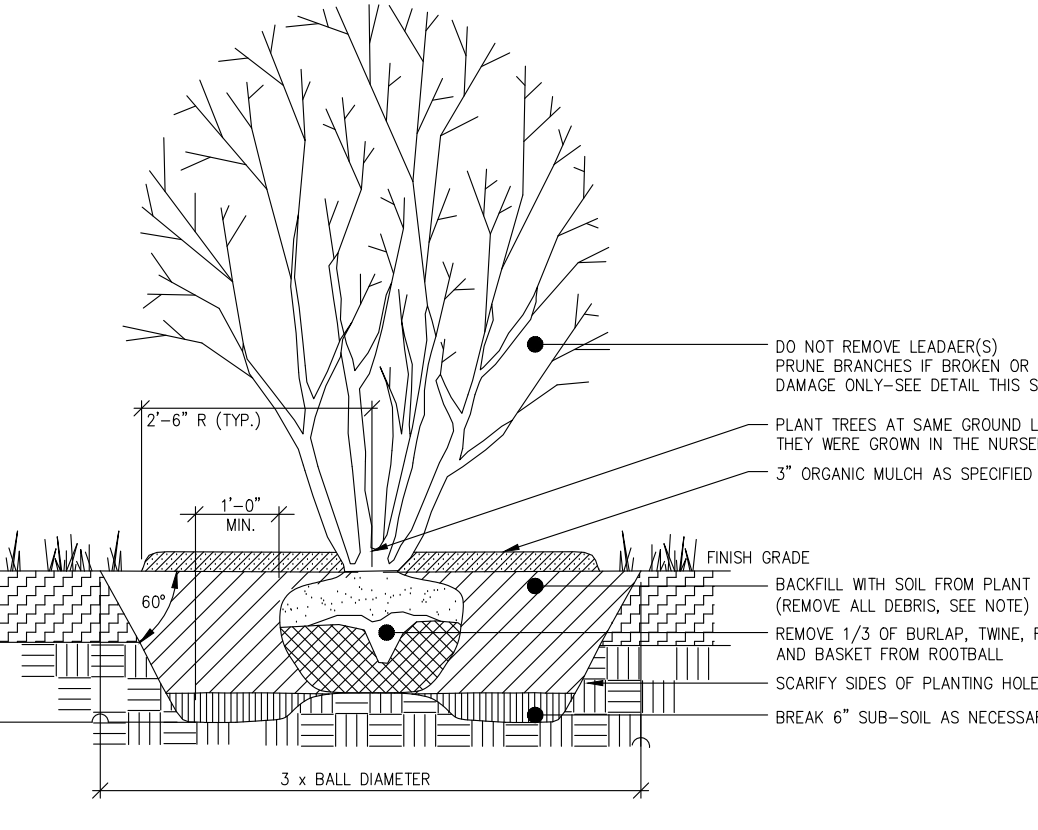
SHRUB/PERENNIAL BED DETAIL

NOT TO SCALE



DECIDUOUS TREE PRUNING DETAIL

NOT TO SCALE



MULTI-STEMMED PLANTING DETAIL

NOT TO SCALE



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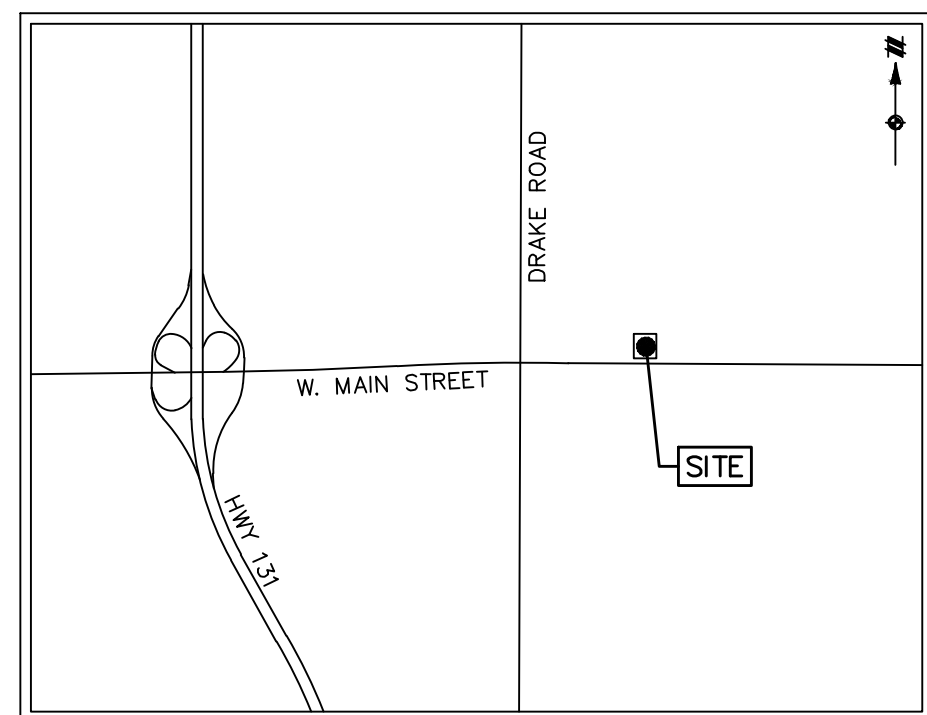
DRAWN BY: RFP
PANDA PROJECT #: D23353
ARCH PROJECT #:
ENG PROJECT #: 22006626



PANDA EXPRESS
4300 W. MAIN ST.
KALAMAZOO, MI

C09
LANDSCAPING
DETAILS

ALTA/NSPS LAND TITLE SURVEY



NOTE:
SEE SHEET 2 FOR LEGEND.

SITE BENCHMARKS:

BM #1: SET BENCH TIE IN EAST FACE OF UTILITY POLE LOCATED IN NORTH RIGHT OF WAY MAIN STREET
ELEVATION: 935.19 (NAVD88)

BM #2: SET RAILROAD SPIKE IN NORTH FACE OF UTILITY POLE LOCATED IN SOUTH RIGHT OF WAY MAIN STREET
ELEVATION: 935.35 (NAVD88)

ZONING:

THE SUBJECT PROPERTY IS CURRENTLY ZONED CO PER CITY OF KALAMAZOO ZONING CONFIRMATION LETTER DATED NOVEMBER 28, 2022 AND IS SUBJECT TO THE FOLLOWING:

REQUIRED SETBACKS
FRONT YARD SETBACKS: NONE
SIDE YARD SETBACKS: NONE
REAR YARD SETBACKS: NONE

BUILDING HEIGHT RESTRICTIONS
MAXIMUM BUILDING HEIGHT: 65'

811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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866.850.4200 www.atwell-group.com
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
248.447.2000

SECTION 18
TOWN 2 SOUTH, RANGE 11 WEST
CITY OF KALAMAZOO
KALAMAZOO COUNTY, MICHIGAN

CLIENT
NORR, LLC
ALTA/NSPS LAND TITLE SURVEY
LOCATED IN

DATE
11/30/2022

NO.	DATE	DESCRIPTION
01/02/2024	REV. PER ADD. TOPO & ADDED PARCEL	
01/05/2024	REV. CLIENT COMMENTS	

REVISIONS

SCALE 0 10 20
1" = 20 FEET

DR. JR GH. CK

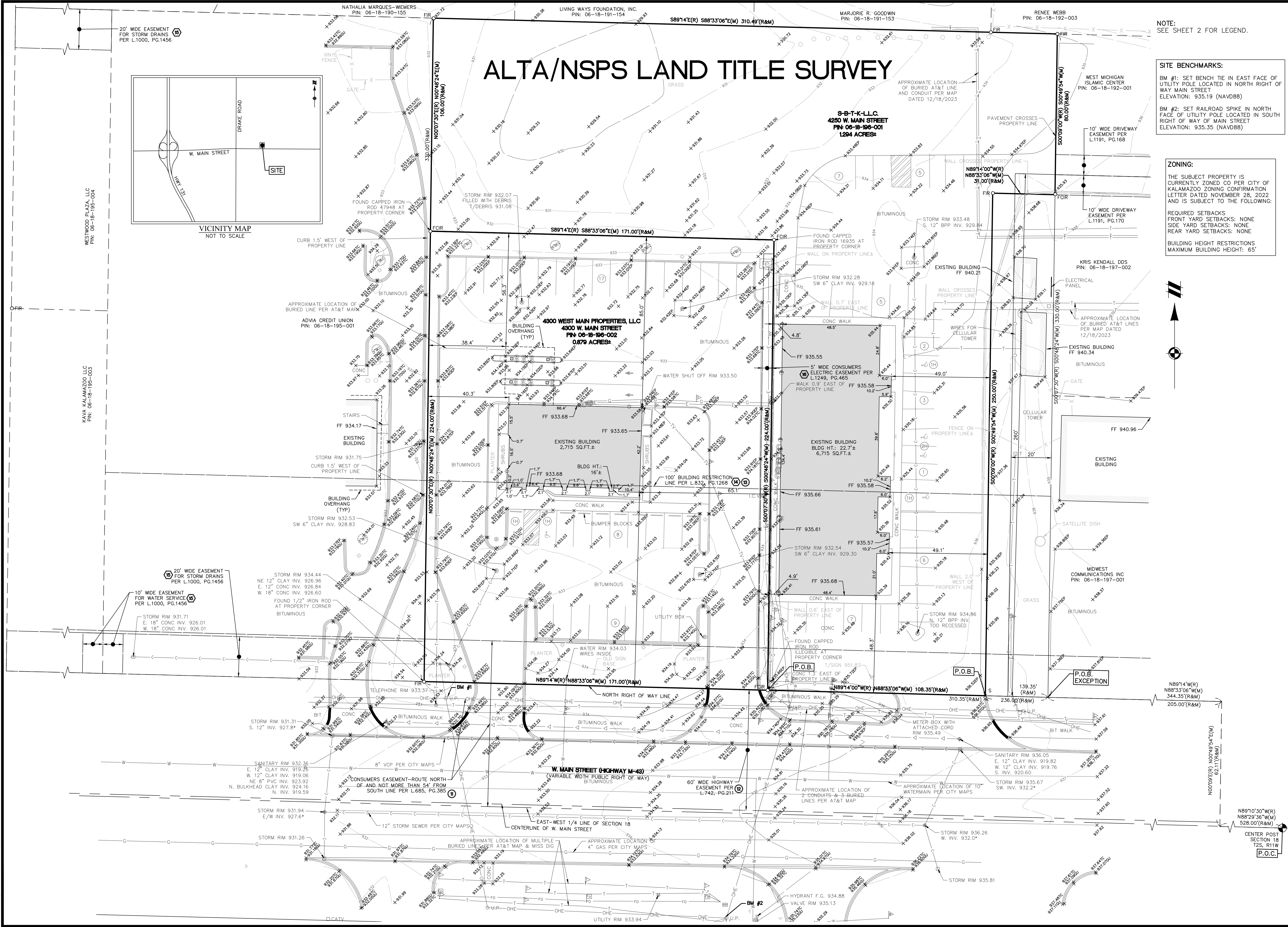
P.M. C. KELLY

BOOK NA

JOB 22006626

SHEET NO. 1 OF 2

CAD FILE: 22006626P-01.DWG





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P&Z PRE-APP MEETING	03-13-24
P&Z SITE PLAN REVIEW	06-28-24

DRAWN BY: A6 (AF)

PANDA PROJECT #: D23353
 PANDA STORE #: S8-25-D23353
 ARCH PROJECT #: JCDT22-0452-00

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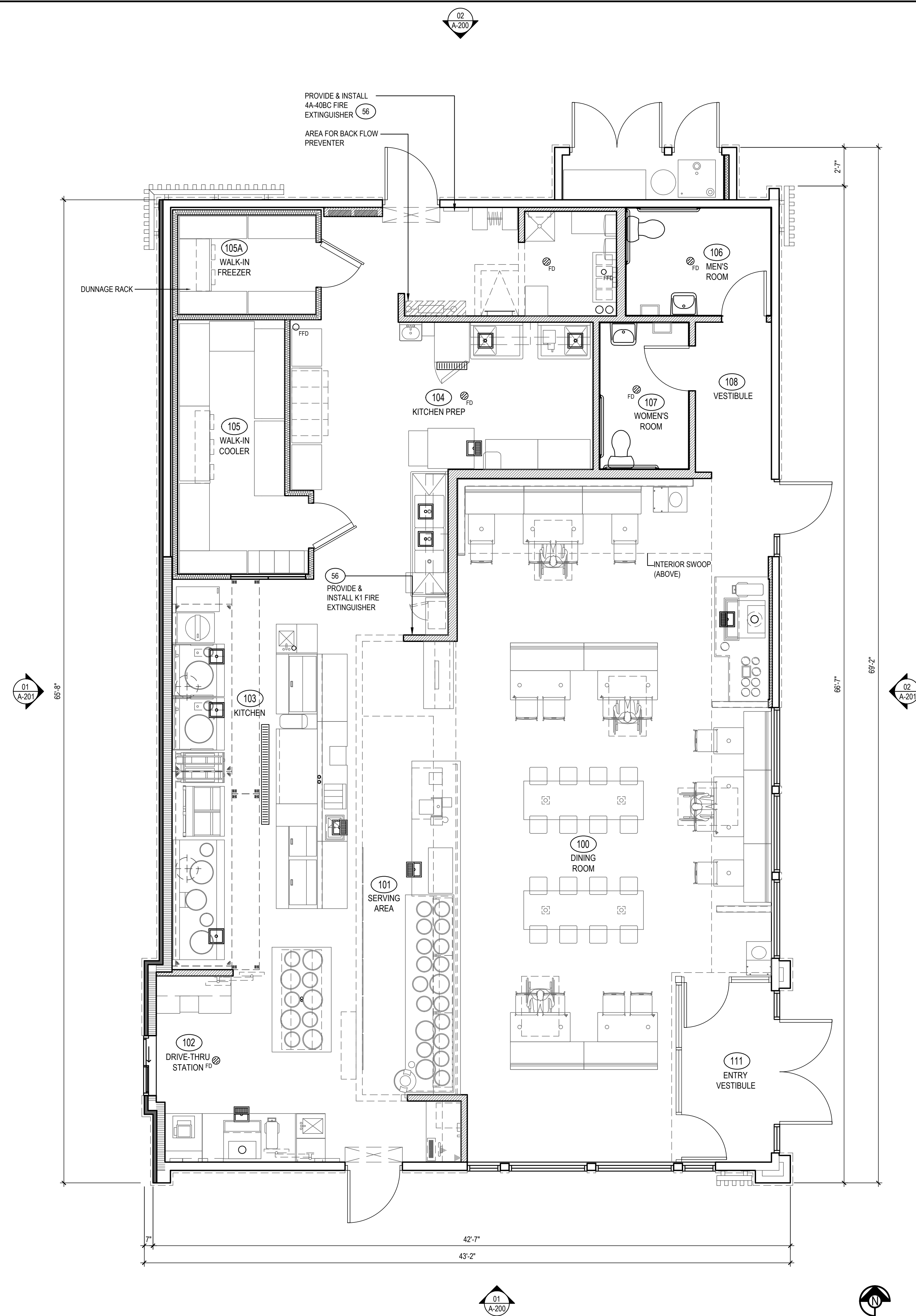
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 KALAMAZOO, MI 49006

A-101

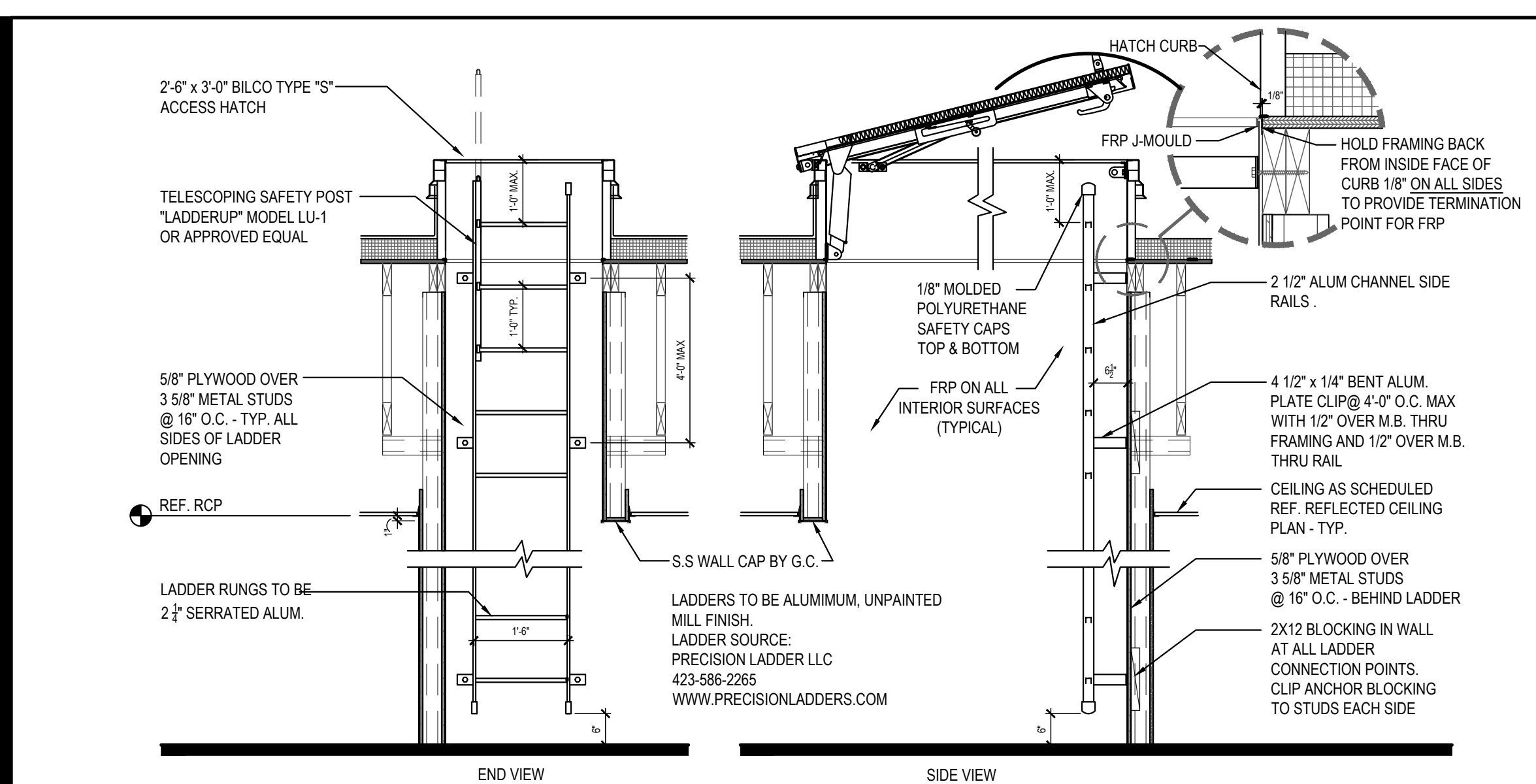
KITCHEN PLAN

PANDA HOME 2700 R1

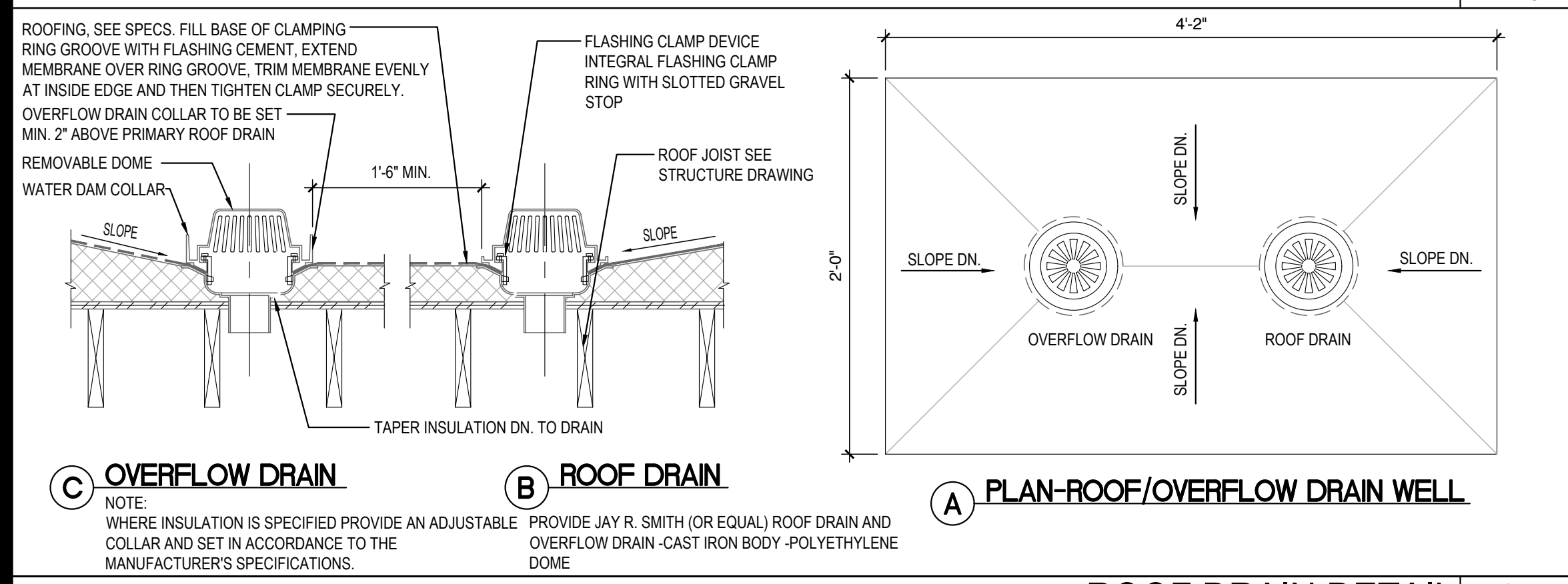


KITCHEN PLAN 1

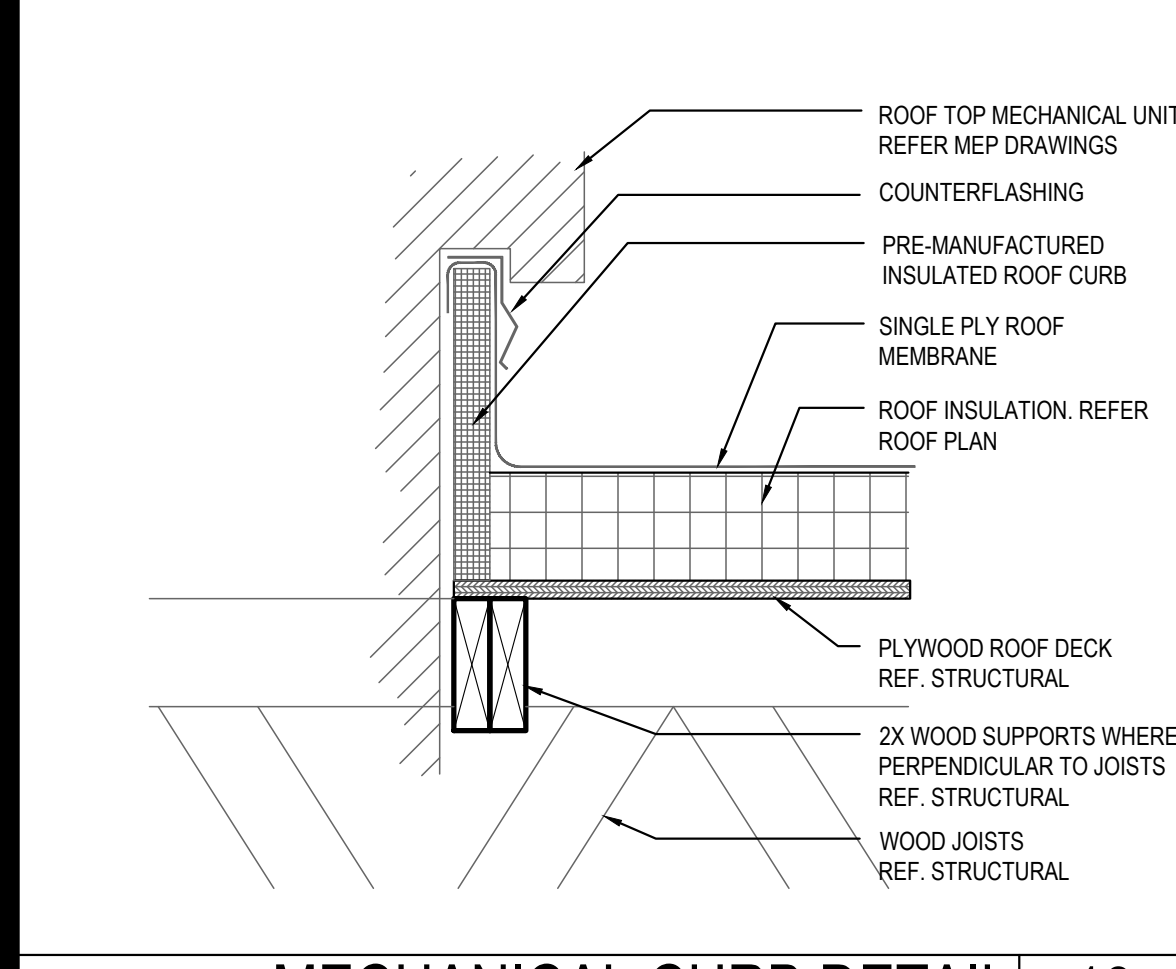
Scale= 1/4" = 1'-0" A-101



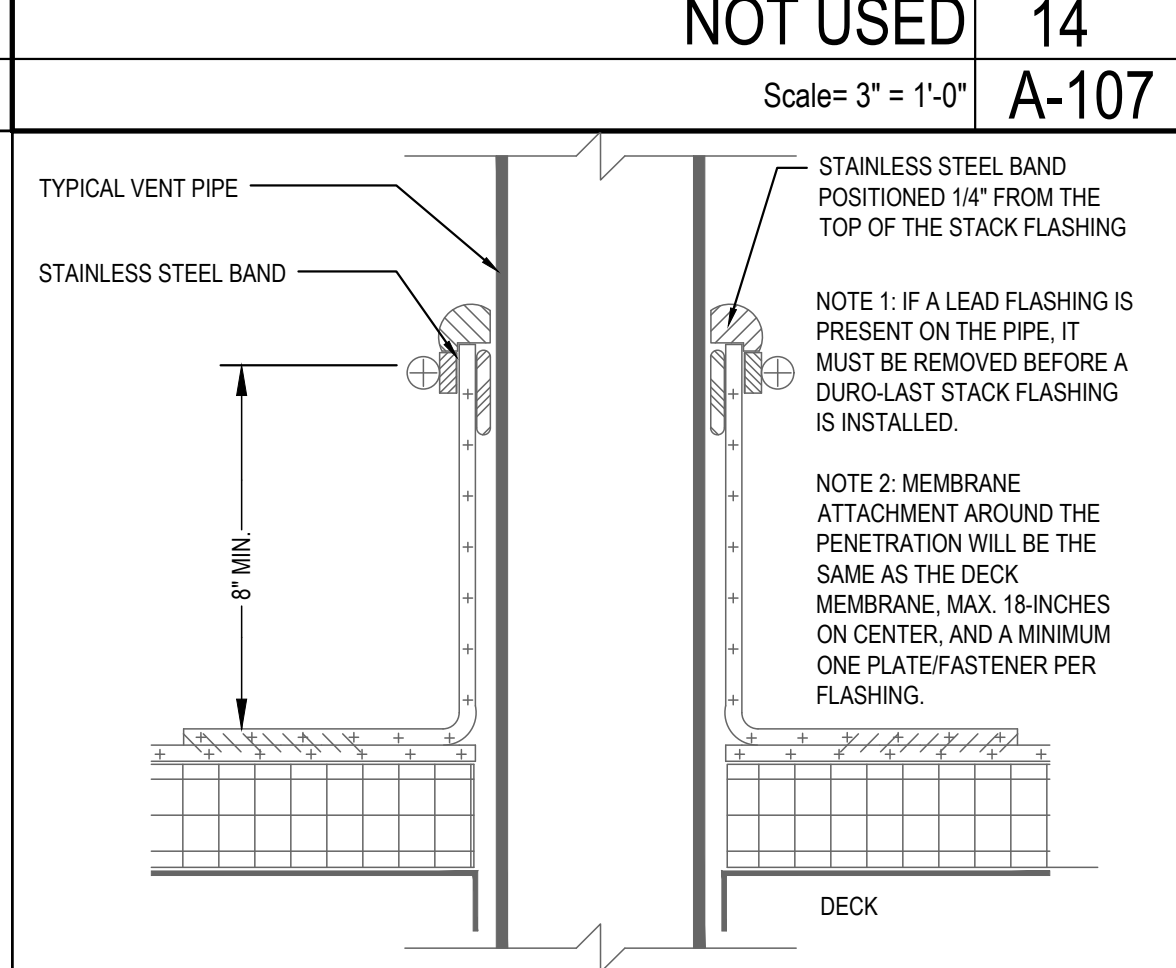
ROOF ACCESS LADDER DETAIL 16
Scale= 1/4" = 1'-0" A-107



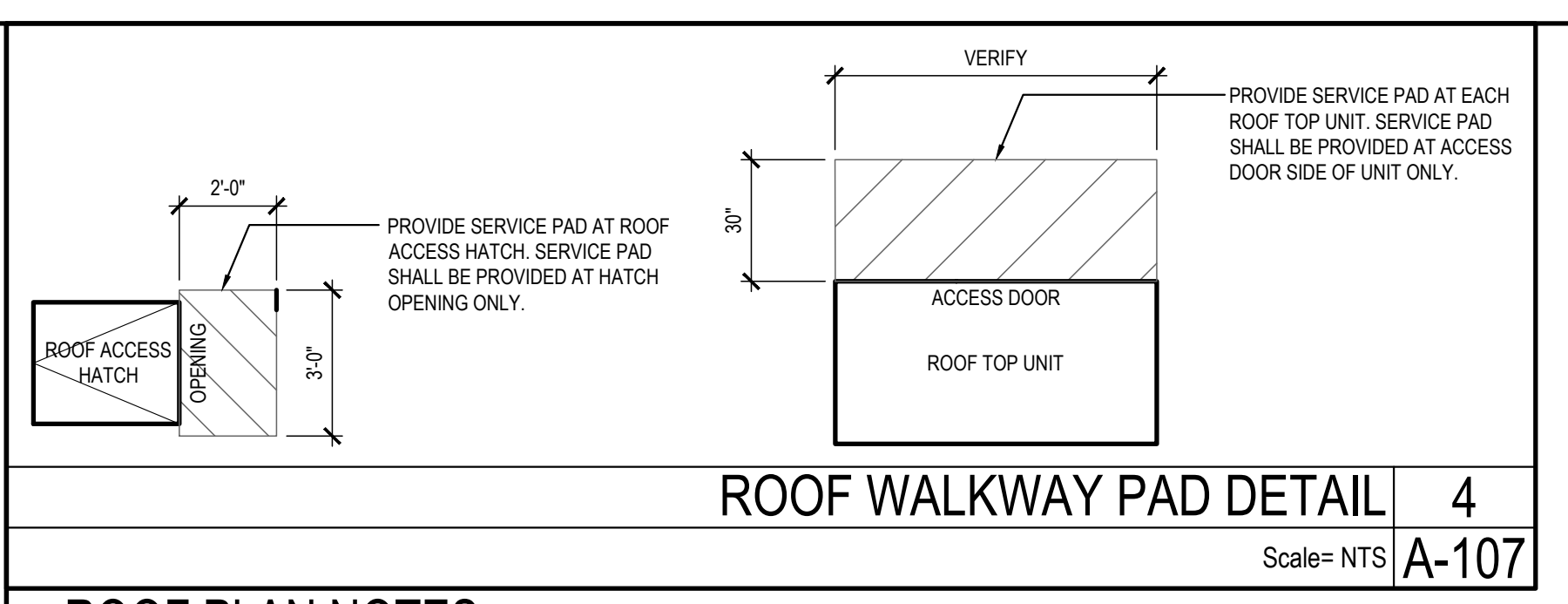
ROOF DRAIN DETAIL 15
Scale= NTS A-107



MECHANICAL CURB DETAIL 18
Scale= NTS A-107



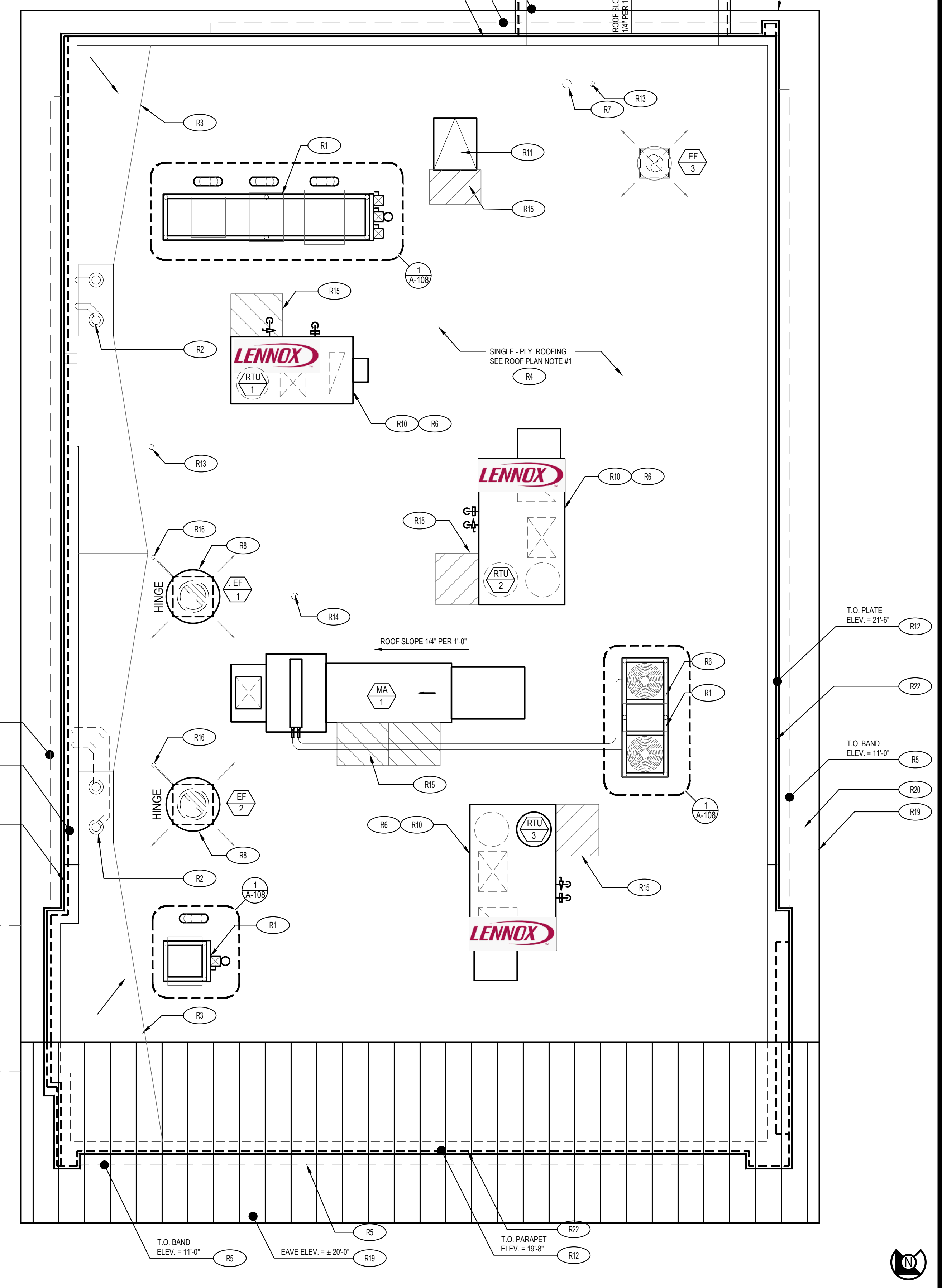
PLUMBING VENT DETAIL 13
Scale= NTS A-107



ROOF WALKWAY PAD DETAIL 4
Scale= NTS A-107

- ROOF PLAN NOTES:**
- WHITE, SINGLE-PLY, PVC 40MIL MECHANICALLY FASTENED ROOF MEMBRANE, AS MANUFACTURED BY DURO-LAST ROOFING, INC. NO ALTERNATES WILL BE ACCEPTED. PROVIDE STANDARD 15 YEAR WARRANTY.
 - +6" INDICATES APPROXIMATE ELEVATION OF THE TOP OF ROOF PLYWOOD SHEATHING AT PLYWOOD CRICKET. SEE TRUSS DRAWINGS FOR ACTUAL ROOF SLOPE. ALL ROOF ELEVATIONS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (U.O.N.). WHEN FLOOR SLAB STEPS, ELEVATIONS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.
 - ANY PROJECTION THROUGH ROOF SHALL BE DETAILED PER THE SINGLE PLY ROOFING MANUFACTURER'S RECOMMENDED DETAILS.
 - ALL EXHAUST FANS AND AIR CONDITIONING EQUIPMENT DESIGNATIONS ARE TAKEN FROM MECHANICAL DRAWINGS.
 - NOT USED.
 - CONTRACTOR SHALL CONFIRM THAT ALL AREAS OF ROOF ARE PROVIDED WITH POSITIVE DRAINAGE.
 - ALL ROOF PENETRATIONS FOR PLUMBING VENTS, POWER CONDUITS, ETC. SHALL BE FLASHED PER BUILDING SPECIFICATIONS AND DETAILS. VENTS SHALL BE AT LEAST 10'-0" HORIZONTAL OR 3'-0" ABOVE OUTSIDE AIR INTAKES (A/C UNITS, MAKE-UP AIR).
 - CONTRACTOR BE RESPONSIBLE FOR COORDINATION OF SIZES AND LOCATIONS OF ROOF OPENINGS (VENTS, DUCTS, ETC.), PLATFORMS, BASES ETC. COORDINATE SIZES OF MECHANICAL EQUIPMENT PLATFORMS, BASES, ROOF EQUIPMENT PLATFORMS AND OPENINGS SHOWN ON DRAWINGS WITH EQUIPMENT BEING SUPPLIED. SEE TYPICAL DETAILS ON THIS SHEET ALSO COORDINATE INSTALLATION OF LIGHTING, POWER, CONVENIENCE OUTLETS ETC.
 - FOR ALL STRUCTURAL FRAMING MEMBERS, SIZES, AND ADDITIONAL INFORMATION, SEE STRUCTURAL DRAWINGS.
 - PROVIDE ROOF CRICKET AT MECHANICAL EQUIPMENT TO ASSURE POSITIVE ROOF DRAIN.
 - ALL ROOF EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.
 - ROOFTOP EQUIPMENT TO BE LOCATED AT LEAST 42" MINIMUM FROM TOWERS FOR SERVICING.
 - PROVIDE SERVICE PAD AT EACH UNIT ONLY AT SERVICE ACCESS DOOR.
 - ALL GAS PIPING ON ROOF TO BE PAINTED SAFETY YELLOW.

- ROOF PLAN KEYNOTES:**
- R1 REF. EQUIPMENT RACK (SEE SHEET A-108)
 - R2 4" ROOF DRAIN AND OVERFLOW DRAIN 15 A-107
 - R3 TAPERED ROOF INSULATION CRICKET TO ASSURE POSITIVE ROOF DRAINAGE
 - R4 SINGLE - PLY ROOFING SEE ROOF PLAN NOTE #1
 - R5 ALUM. CANOPY PROVIDED AND INSTALLED BY PANDA VENDOR
 - R6 ROOF TOP MECHANICAL UNIT SEE MECHANICAL DRAWING
 - R7 WATER HEATER VENT - SEE MEP PLANS. OFFSET VENTS AS REQUIRED TO MAINTAIN MIN. 10'-0" AWAY FROM AIR INTAKE SYSTEMS ON EQUIPMENT.
 - R8 EXHAUST FAN
 - R9 NOT USED
 - R10 MECHANICAL UNIT CURB. SEE DETAIL 18/A-107
 - R11 ROOF ACCESS HATCH LOCATE BETWEEN 2 ADJACENT TRUSSES 16 A-107
 - R12 TOP OF PLATE - REF. STRUCTURAL
 - R13 PLUMBING VENT 13 A-107
 - R14 WEATHER PROOF HYDRANT CENTERLINE OF STEEL BEAM (PAINTED), REF STRUCTURAL SHEET S-101 - ROOF FRAMING PLAN
 - R15 PROVIDE WALKWAY PAD AS SHOWN, REF DETAIL 4/A-107
 - R16 POWER SUPPLY LOCATION FOR ROOFTOP EXHAUST FANS FOR KITCHEN HOOD
 - R18 PEAK OF PRE-MANUFACTURED ALUM. SWOOP ELEMENT PROVIDED BY PANDA VENDOR AND INSTALLED BY PANDA VENDOR. RE: ELEVATIONS
 - R19 EDGE OF PRE-MANUFACTURED ALUM. SWOOP ELEMENT PROVIDED BY PANDA VENDOR AND INSTALLED BY PANDA VENDOR. TOP/BOTTOM VARIES. RE: ELEVATIONS
 - R20 LIGHT FIXTURE ATTACHMENT ON PREMANUFACTURED ALUM. SWOOP ELEMENT PROVIDED BY PANDA VENDOR AND INSTALLED BY PANDA VENDOR. TOP/BOTTOM VARIES. RE: ELEVATIONS
 - R21 SUPPORTING STRUCTURE UNDER PREMANUFACTURED ALUM. SWOOP ELEMENT PROVIDED BY PANDA VENDOR AND INSTALLED BY PANDA VENDOR. TOP/BOTTOM VARIES. RE: ELEVATIONS
 - R22 LINE OF WALL FRAMING / FOUNDATION (BELOW)



ROOF PLAN 1
Scale= 1/4" = 1'-0" A-107



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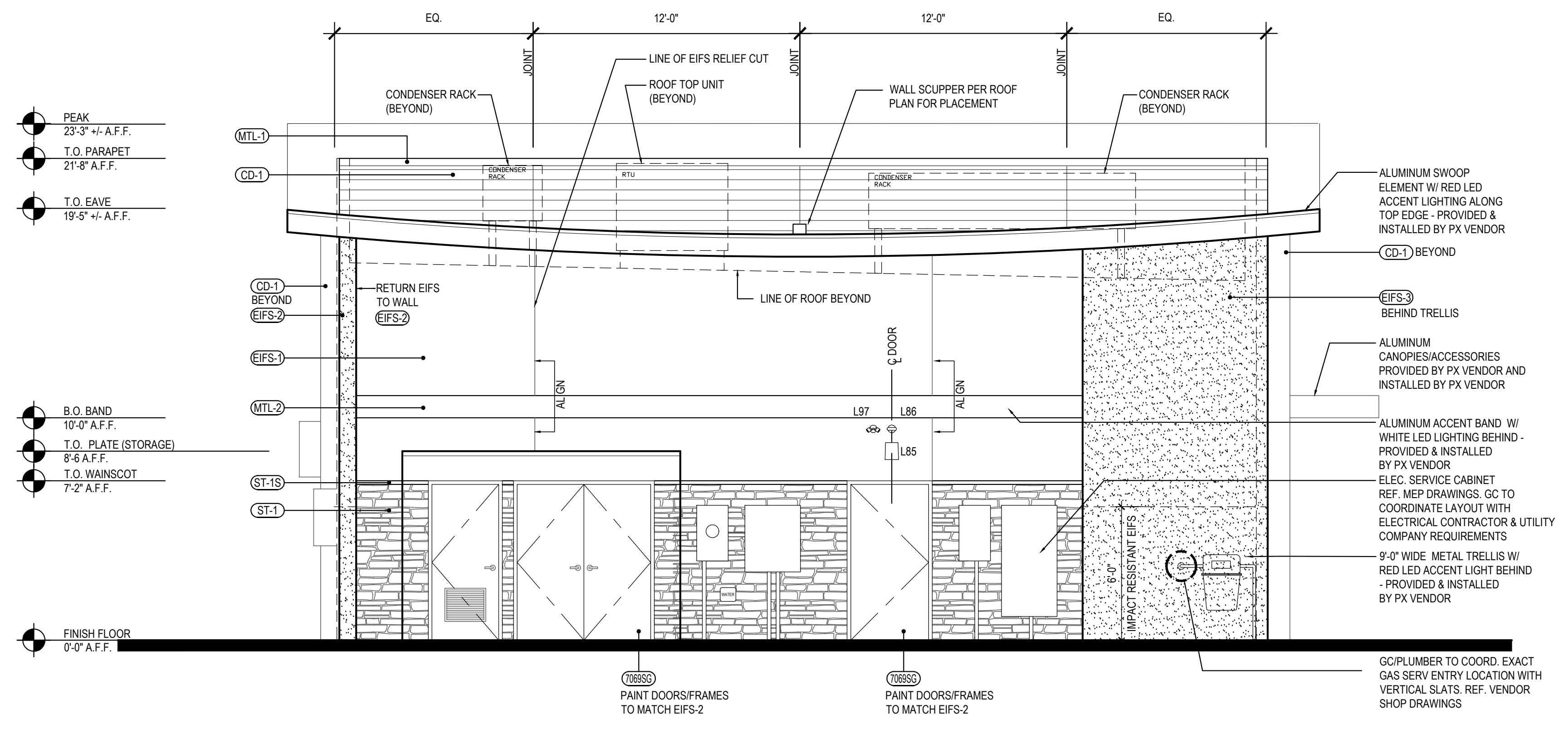
PANDA PROJECT #: D23353
PANDA STORE #: S8-24-D23353
ARCH PROJECT #: JCDT22-0452



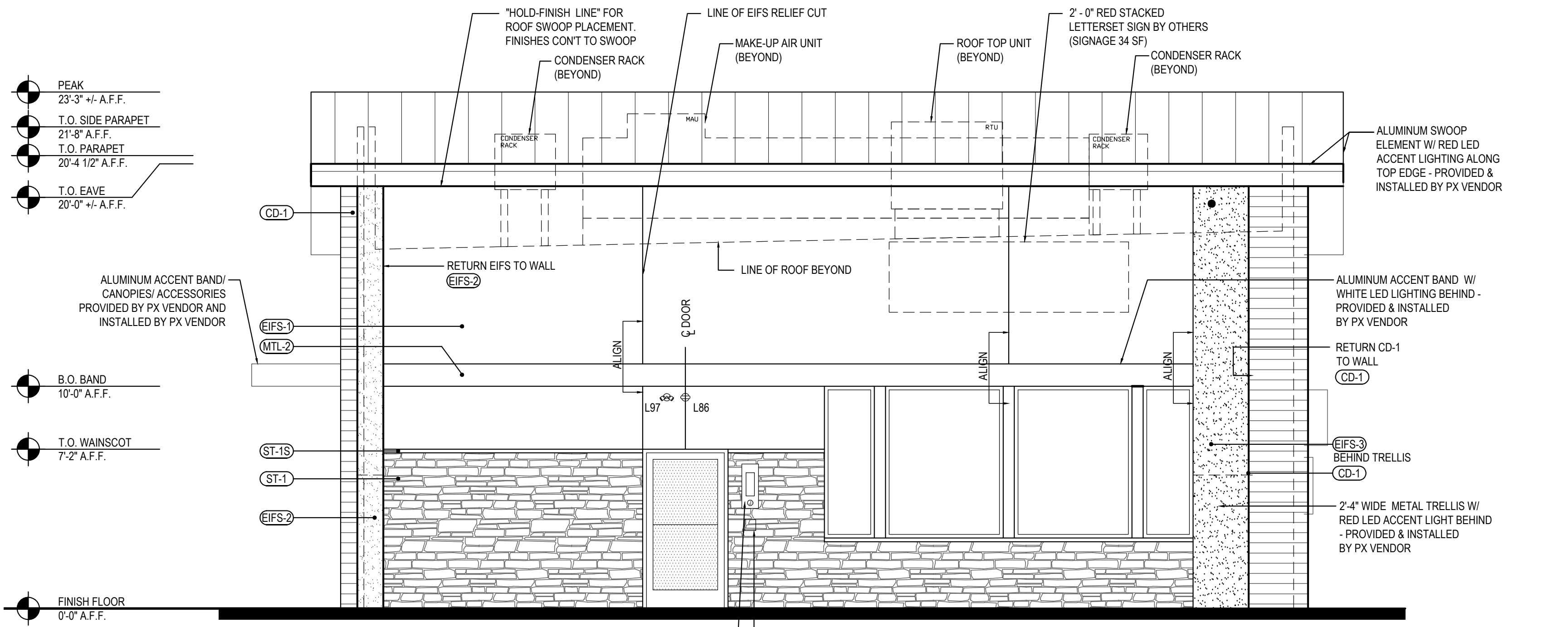
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A-107
ROOF PLAN

NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
(EIFS-1)	STO	STOTHERM ESSENCE SYSTEM	SW 7646 FIRST STAR	FINE	BUILDING BODY NOTE: EIFS TO RECEIVE FINAL COAT OF STO-CORP STO-LASTIC ELASTOMERIC COATING TINTED TO DESIRED COLOR AS SCHEDULED
(EIFS-2)	STO	STOTHERM ESSENCE SYSTEM	SW 7069 IRON ORE	FINE	EIFS ACCENT BAND
(EIFS-3)	STO	STOTHERM ESSENCE SYSTEM	PANTONE COLOR P200C - RED	FINE	EIFS BEHIND TRELLIS
(ST-1S)	CORONADO STONE PRODUCTS	CHISELED STONE SILL	CHARCOAL	-	STONE CAP (3/8" VERTICAL JOINT - MORTAR TO MATCH STONE CAP)
(ST-1)	CORONADO STONE PRODUCTS	STRIP STONE	BLACK FOREST	-	WAINSCOT CONTACT: 864-962-1221 PROVIDE 3/8" MORTAR JOINTS. MFG: ARGOS, COLOR: CHARCOAL
(CD-1)	FIBERON	WILDWOOD	BAMBOO	-	COMPOSITE CLADDING - CONTACT: MARIA SCHOLLER 419-704-5924 EMAIL: maria.scholler@fiberoncladding.com
(MTL-2)	PANDA VENDOR	ALLEN INDUSTRIES	PMS BLACK-7C	SATIN FINISH	CANOPY W/ LED W/ DOWN LIGHT AROUND BUILDING
(MTL-1)	EXCEPTIONAL METALS	-	*PANDA EXPRESS SW 7069 - IRON ORE*	-	CAP FLASHING



REAR (NORTH) ELEVATION 2
Scale= 1/4" = 1'-0" A-200



FRONT (SOUTH) ELEVATION 1
Scale= 1/4" = 1'-0" A-200



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P&Z PRE-APP MEETING	03-13-24
P&Z SITE PLAN REVIEW	06-28-24

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PANDA STORE #: S8-25-D23353
ARCH PROJECT #: JCDT22-0452-00

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A-200

EXTERIOR ELEVATIONS



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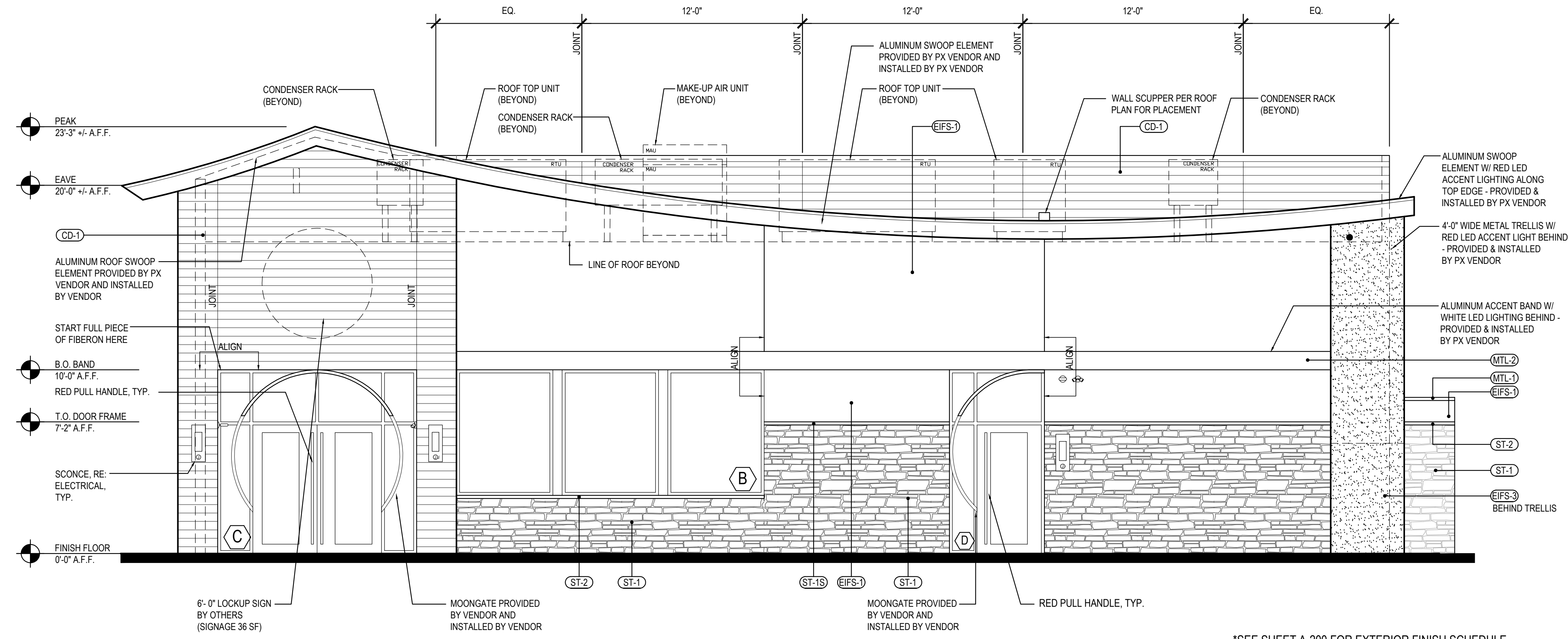
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ENTRY (EAST) ELEVATION 2
Scale= 1/4" = 1'-0" A-201

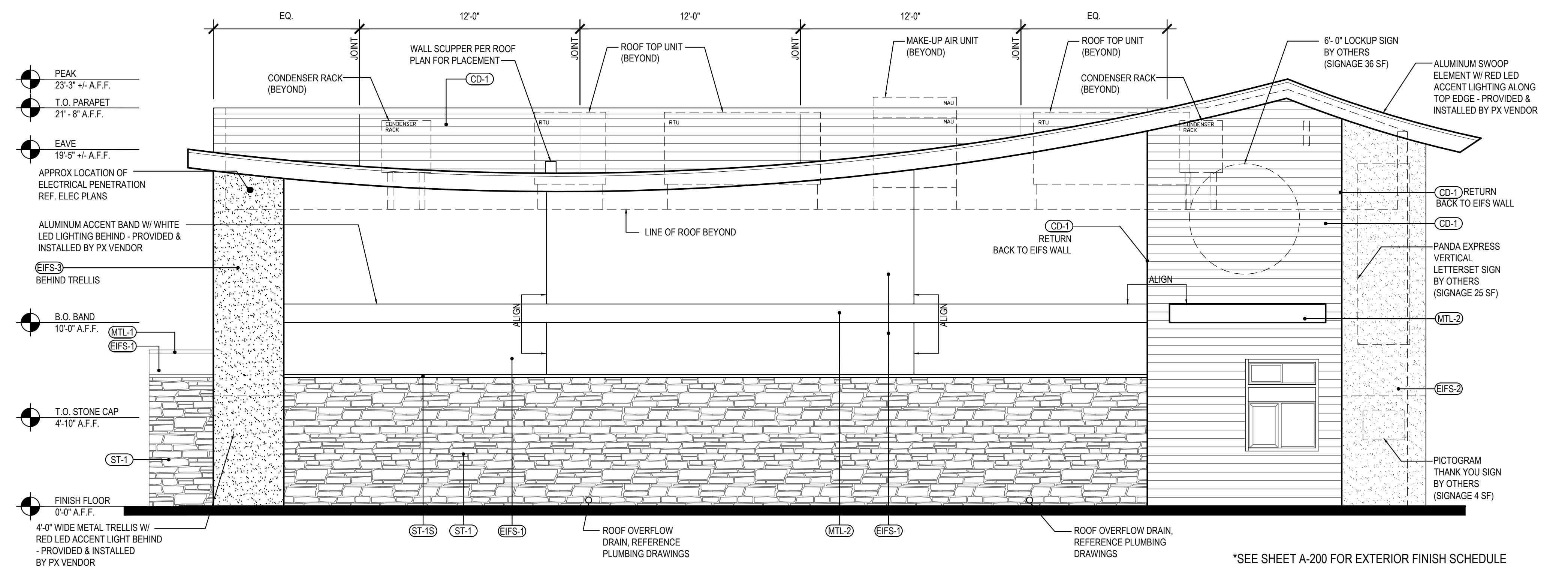
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DRIVE THROUGH (WEST) ELEVATION 1
Scale= 1/4" = 1'-0" A-201

A-201

EXTERIOR ELEVATIONS



PERSPECTIVE FACING SOUTHEAST CORNER OF BUILDING 2

Scale= NTS A-202



PERSPECTIVE FACING NORTHWEST CORNER OF BUILDING 1

Scale = NTS A-202



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P&Z SITE PLAN REVIEW	06-28-24

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A-202

EXTERIOR
PERSPECTIVES

PANDA HOME 2700 R1



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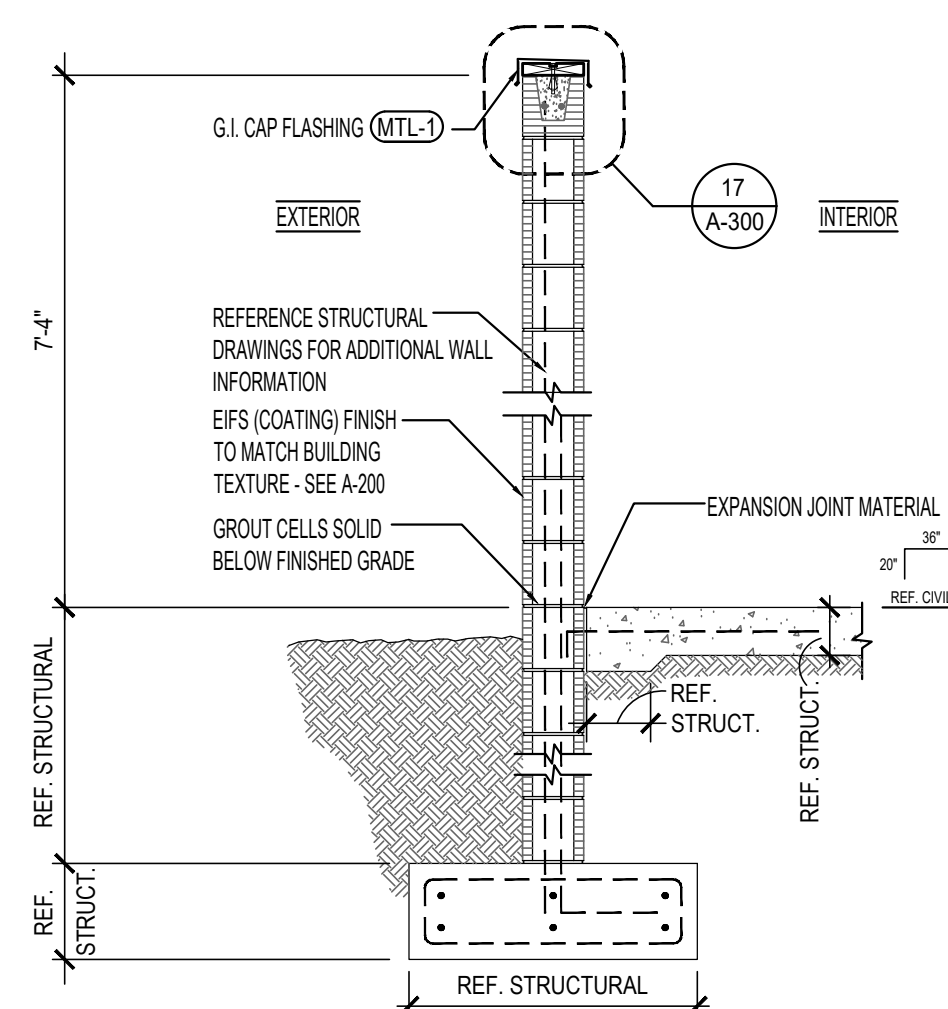
PANDA EXPRESS

PANDA HOME 2700 R1
4300 W. MAIN ST.
KALAMAZOO, MI 49006

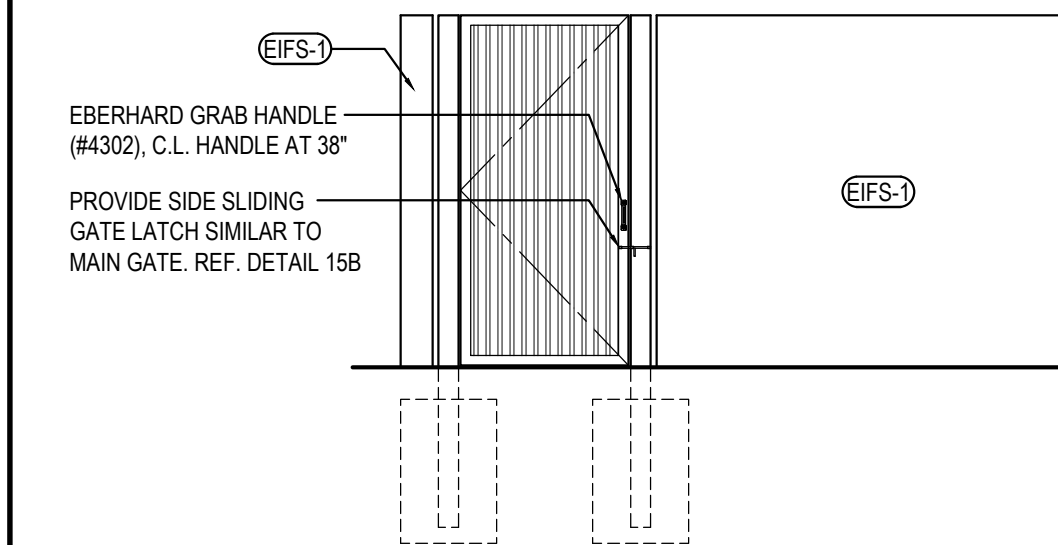
A-300

TRASH ENCLOSURE
DETAILS

PANDA HOME 2700 R1

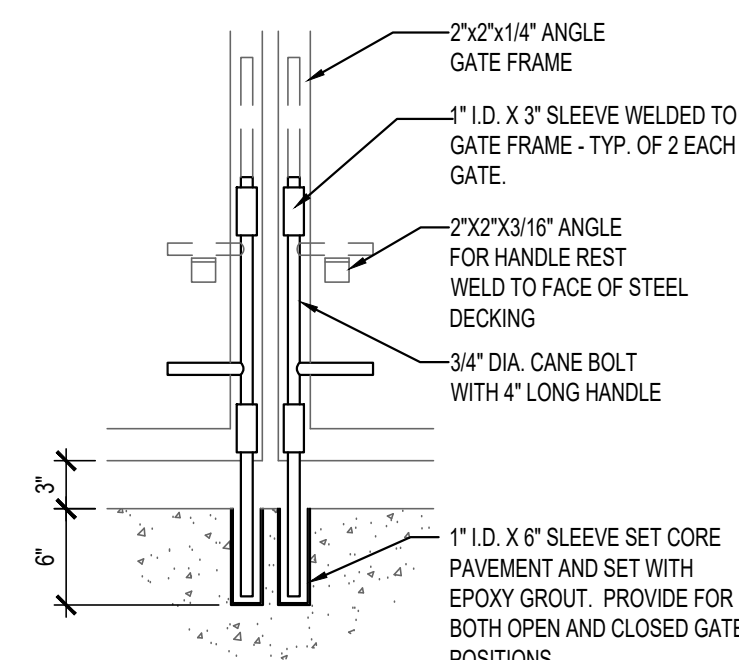


TRASH ENCLOSURE WALL SECTION 8
Scale= 1/2" = 1'-0" A-300

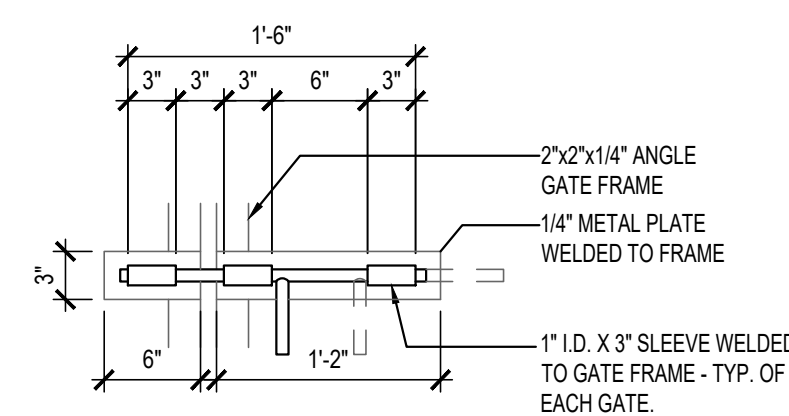


SIDE ELEVATION 4

Scale= 1/4" = 1'-0" A-300

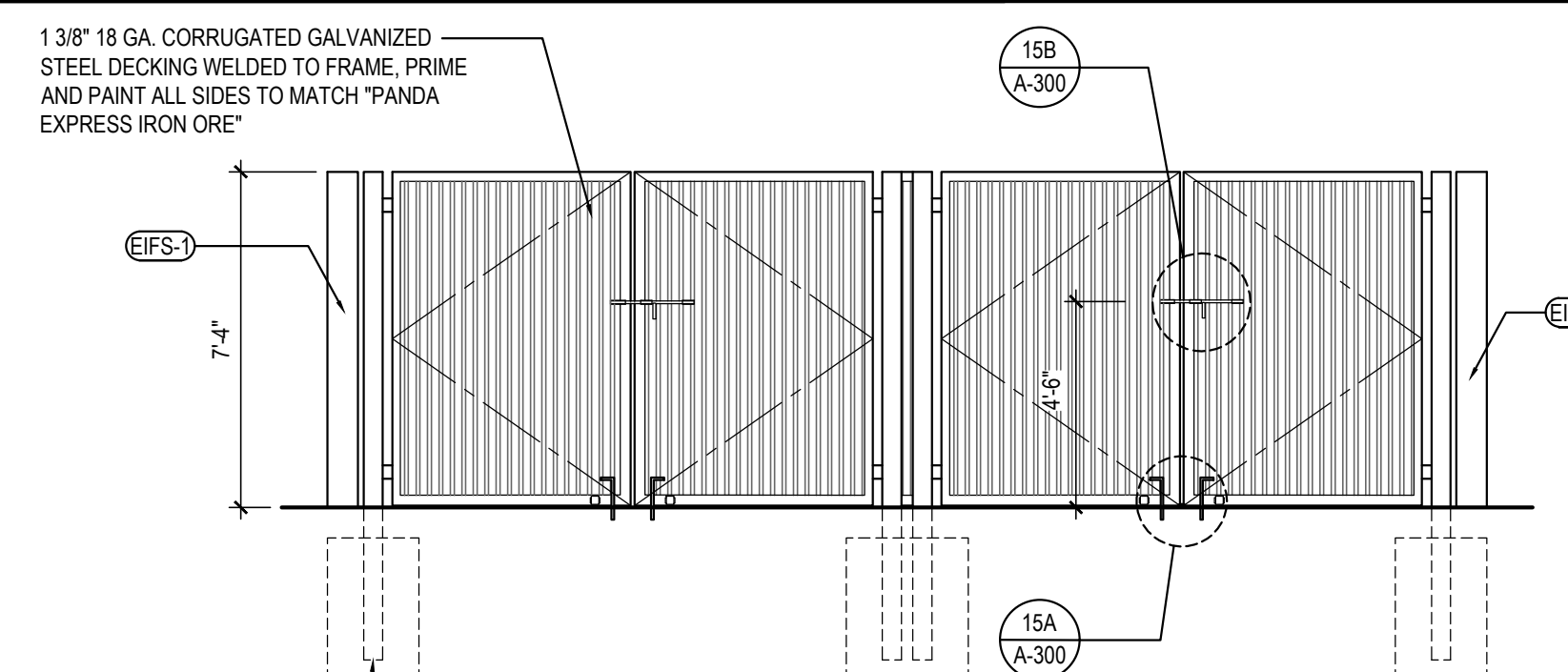


7A CANE BOLT DETAIL



7B GATE LATCH DETAIL

DUMPSTER GATE LATCH DETAILS 15
Scale= NTS A-300



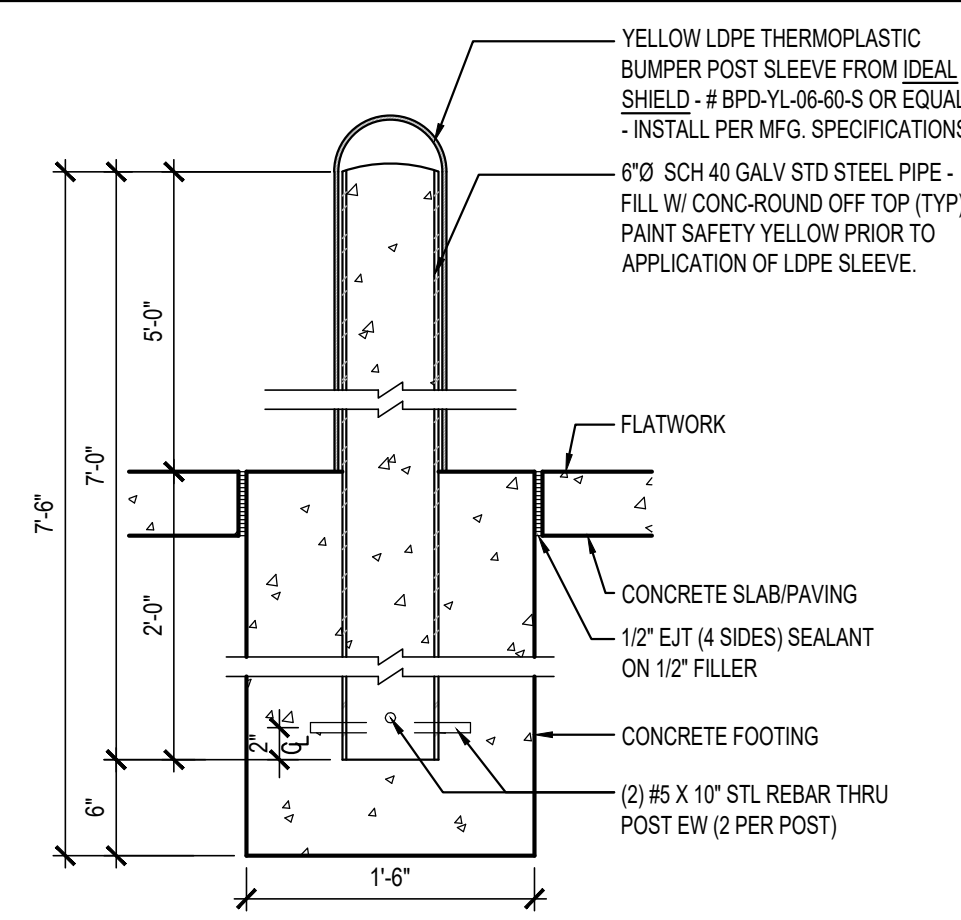
FRONT ELEVATION 2

NOTE: THE TRASH ENCLOSURE EXTERIOR CMU WALLS TO HAVE EIFS (COATING) FINISH TO MATCH BUILDING TEXTURE - SEE: A-200
TRASH ENCLOSURE WALL COLOR SHALL MATCH EIFS
TRASH ENCLOSURE GATE COLOR SHALL MATCH "PANDA EXPRESS IRON ORE"
INTERIOR WALLS SHALL BE SMOOTH, CLEANABLE AND SEALED WITH AN APPROVED EPOXY CEMENT SEALER. COLOR TO MATCH EXTERIOR.

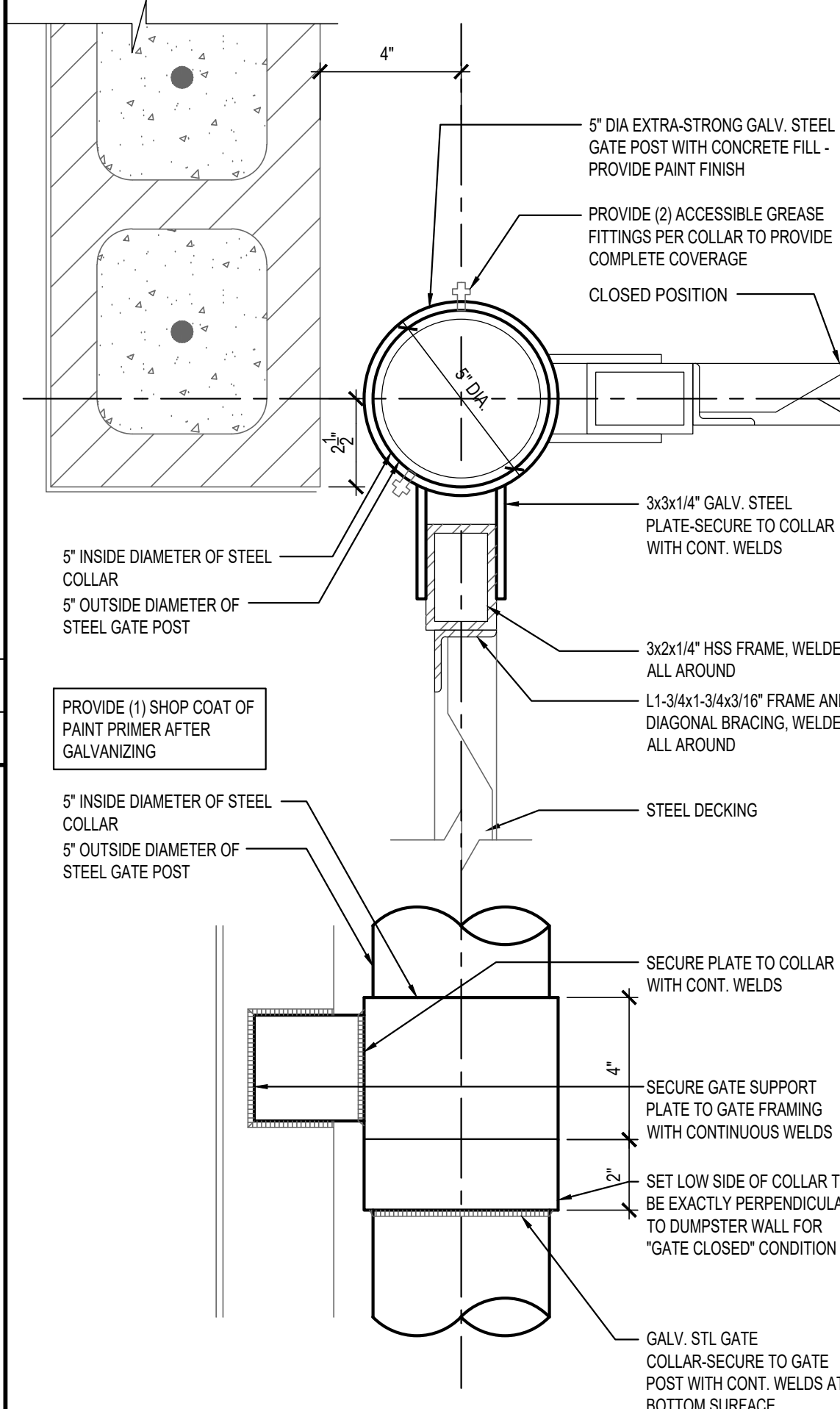
NOTE: CONTRACTOR TO SUPPLY & INSTALL ALL HINGES, GATE LATCHES, CANE BOLTS, ETC. AS INDICATED.

NOTE: ANY DIAGONAL SUPPORT FOR GATES SHALL BE INSTALLED ON THE INSIDE OF ENCLOSURE. THIS SHALL NOT BE VISIBLE ON THE OUTSIDE OF THE GATE.

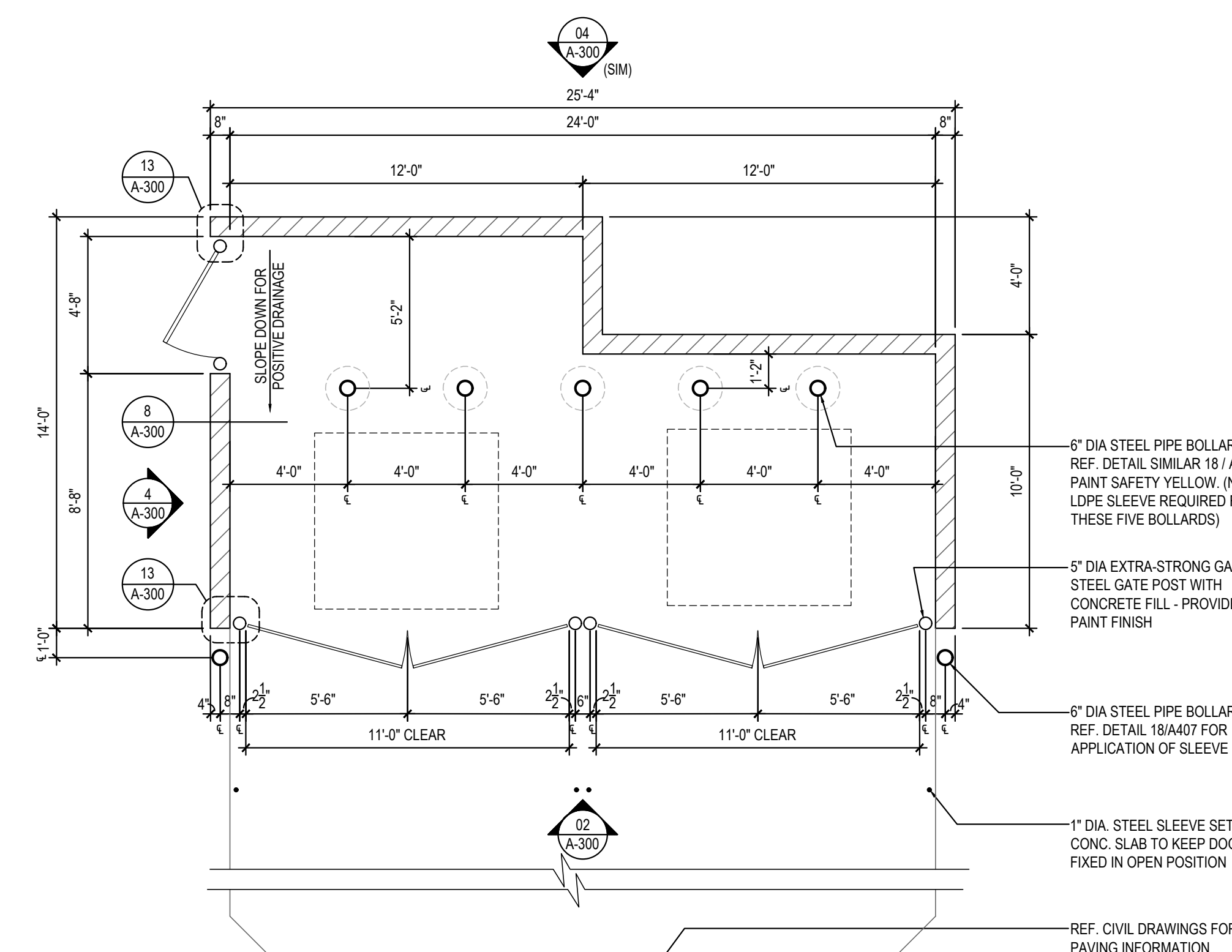
FRONT ELEVATION 2
Scale= 1/4" = 1'-0" A-300



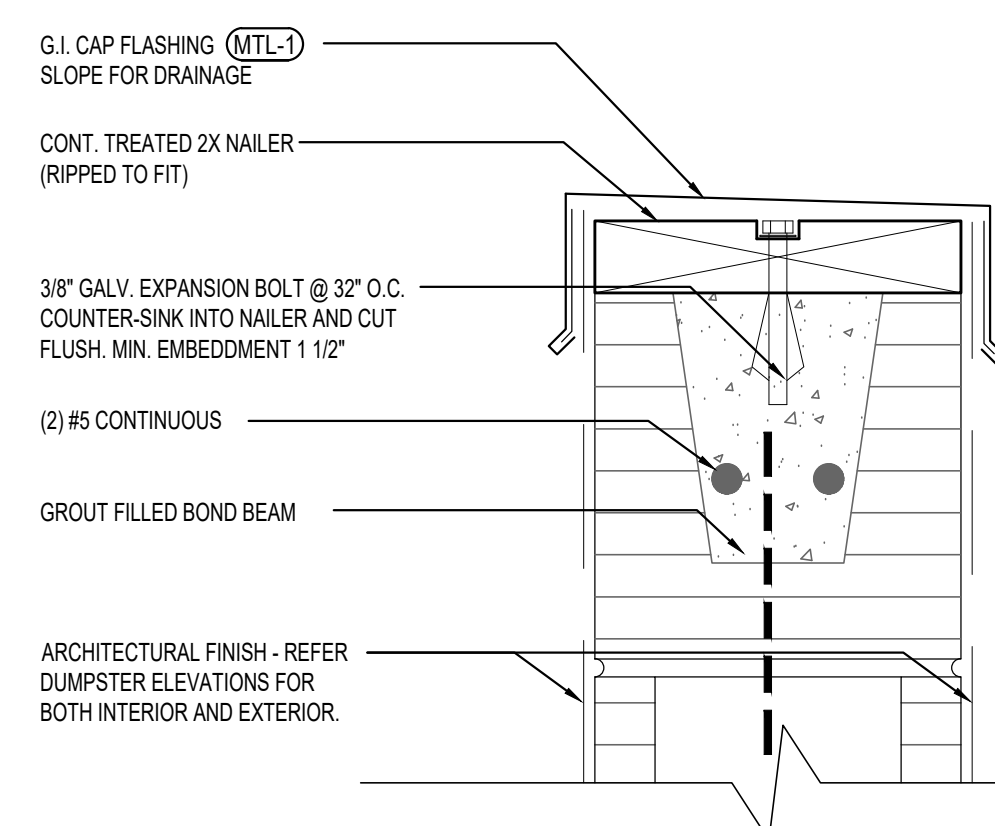
BOLLARD / POST BASE 18
Scale= 1" = 1'-0" A-300



HINGE DETAIL 13
Scale= 3" = 1'-0" A-300



TRASH ENCLOSURE 1
Scale= 1/4" = 1'-0" A-300



DUMPSTER CAP DETAIL 17
Scale= 3" = 1'-0" A-300



ATLANTIS

1695K-LED
LARGE WALL MOUNT LANTERN

Atlantis features a minimalist design for the ultimate in urban sophistication. Constructed of solid aluminum and Dark Sky compliant, Atlantis provides a chic solution to eco-conscious homeowners.

DETAILS	
FINISH	Black/White
MATERIAL	Anodized Aluminum
GLASS	Etched Lens

DIMENSIONS	
WIDTH	12"
HEIGHT	24"
WEIGHT	7lb
BACK PLATE	4.5"W x 6.15"H
EXTENSION	4"
TOP TO OUTLET	20.75"

LIGHT SOURCE	
LED NAME	Integrated LED
VOLTAGE	120V
COLOR TEMP.	3000K
LUMENS	1200
CR	98
INCANDESCENT EQUIVALENCY	2 x 60w
DIMMABLE	Yes - 0-10V Type Dimmer Only

SHIPPING	
CARTON LENGTH	12
CARTON WIDTH	28
CARTON HEIGHT	8
CARTON WEIGHT	13

- PRODUCT DETAILS:**
- Suitable for use in wet (outdoor direct rain or sprinkler) locations as defined by NEC and IEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
 - Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky
 - Fixture is ADA compliant and adheres to the standards and guidelines listed by the Americans with Disabilities Act
 - Meets California Energy Commission 2013 & 2016 Title regulations/JAB
 - Equipped with a 120V/277 universal driver - 0-10 dimming.
 - 2 year finish warranty
 - LED components carry a 5-year limited warranty
 - Bold lines and a clean, minimalist style complement contemporary architecture

HINKLEY

30000 Pin Oak Parkway
Avon Lake, OH 44012

PHONE: (440) 683-8900
Toll Free: 1 (800) 448-8539

hinckley.com



MLED Series

Remote Lamp For LED Exit, Combo or Emergency Units

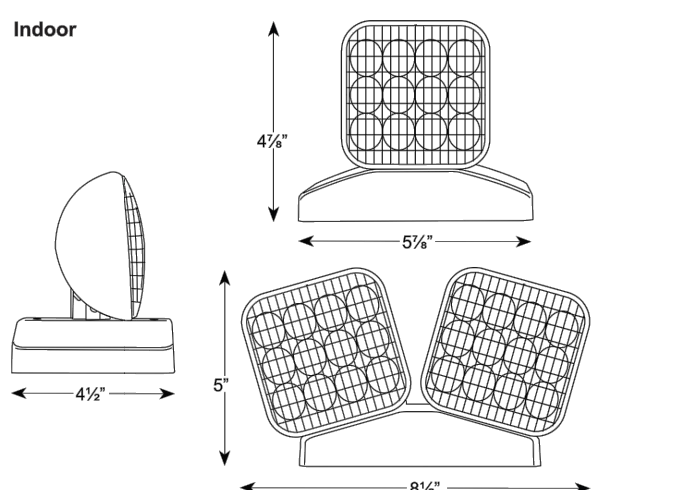
Model: **MLED-1-G-WP**

Accessories: _____ Date: _____

Job Name: **PANDA EXPRESS** Type: **L86**

MLED1-G-WP MLED2-W

5 YEAR WARRANTY



ORDERING INFORMATION Example: MLED1-G-02-WP

Series*	Finish	Options
MLED1 = Single Remote Lamp	SP = Black	GP = Self-Test/Diagnostic Capable
MLED2 = Double Remote Lamp	GP = Gray	WP = Weatherproof Application
	W = White	

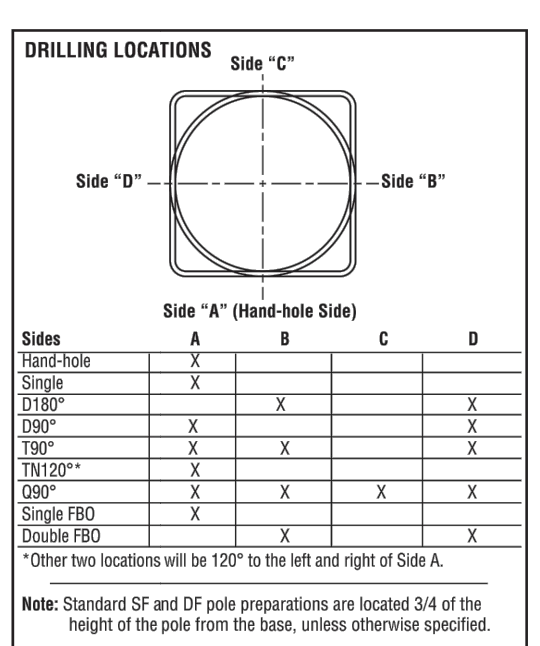
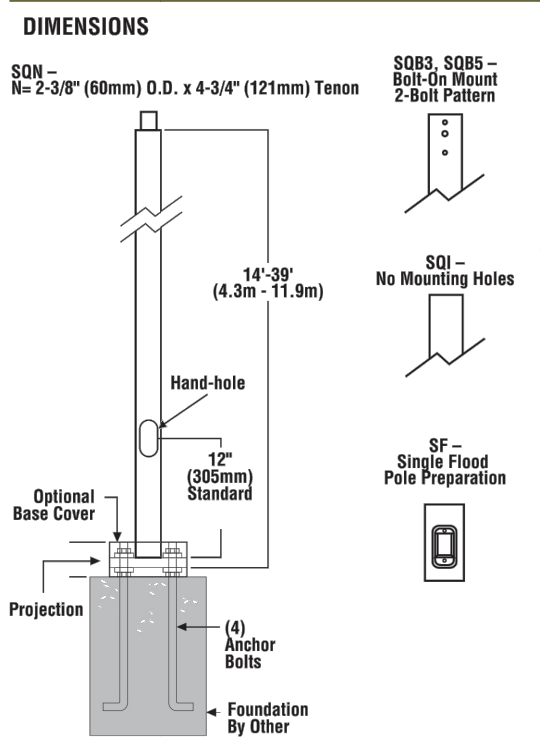
Notes:

- * Line governing remote lamp head must also have G2 option
- * WP option available in Black or Gray finish only
- * MLED2 only compatible with CLED, VLEC, LED-RX, VEX-RC, VEX-WPC and LED-90 units

Specifications are subject to change without notice. Installation must be performed in accordance with Barron Lighting Group installation instructions.



STEEL SQUARE POLES



SHIPPING WEIGHTS - Steel Square Poles

Height	70 MPH	80 MPH	90 MPH	100 MPH	Outside Dimensions	Material	Rail Circle
14 (4.3m)	23.3	18.7	12.2	9.0	4" (102mm)	S115	B
16 (4.9m)	18.6	13.1	8.9	6.3	4" (102mm)	S115	B
18 (5.5m)	24.9	20.0	13.9	9.8	5" (127mm)	S110	C
18 (5.5m)	14.4	8.7	8.5	4.2	4" (102mm)	S116	B
18 (5.5m)	22.8	18.2	14.1	10.1	5" (127mm)	S116	C
20 (6.1m)	11.0	7.0	4.2	2.2	4" (102mm)	S116	B
20 (6.1m)	18.2	12.8	8.8	5.9	4" (102mm)	S010	A
20 (6.1m)	22.5	15.4	10.5	7.0	5" (127mm)	S116	C
20 (6.1m)	26.5	20.4	14.8	10.4	5" (127mm)	S010	A
22 (6.7m)	18.7	12.8	8.4	5.4	4" (102mm)	S010	A
22 (6.7m)	20.8	13.8	8.8	5.9	5" (127mm)	S116	C
22 (6.7m)	34.9	23.9	17.0	12.0	5" (127mm)	S010	A
24 (7.3m)	7.7	4.0	1.5	1.1	4" (102mm)	S110	B
24 (7.3m)	15.1	9.7	6.0	3.3	4" (102mm)	S010	A
24 (7.3m)	18.2	10.8	8.2	3.1	5" (127mm)	S116	C
24 (7.3m)	28.6	19.8	13.4	8.8	5" (127mm)	S010	A
24 (7.3m)	48.2	32.4	23.2	16.6	6" (152mm)	S010	A
26 (7.9m)	5.3	2.1	0.8	0.5	4" (102mm)	S116	C
26 (7.9m)	12.0	7.2	3.8	1.6	4" (102mm)	S010	A
26 (7.9m)	13.2	7.8	3.8	1.6	5" (127mm)	S116	C
26 (7.9m)	24.0	15.8	10.3	6.3	5" (127mm)	S010	A
26 (7.9m)	39.6	27.2	18.9	12.0	6" (152mm)	S010	A
28 (8.5m)	13.2	8.5	3.8	1.6	4" (102mm)	S116	C
28 (8.5m)	18.9	12.7	15.1	9.8	5" (127mm)	S010	A
30 (9.1m)	16.2	10.6	5.0	1.7	5" (127mm)	S010	A
30 (9.1m)	28.8	18.8	11.6	6.6	6" (152mm)	S010	A
30 (9.1m)	18.3	10.0	4.3	1.8	5" (127mm)	S010	A
39 (11.9m)	11.5	4.3	1.4	0.8	5" (127mm)	S010	A



Project Name _____ Fixture Type _____

Catalog # _____

STEEL SQUARE POLES

POLE ORDERING INFORMATION

Typical Order Example: **5SQB5 S07G 24 S PLP SF DGP**

Pole Series	Material	Height*	Mounting Configuration	Finish	Options
Boh-on Arm Mount	S110 - 11 Ga. Steel S07G - 07 Ga. Steel	14' 16' 18' 20' 22' 24' 26' 28' 30'	S - Single/Parallel DP - Double DPDP - Double DNDP - Double TDP - Triple TNDP - Triple QDP - Quad QNDP - Quad	BR2 - Bronze BLK - Black PT - Platinum Plus WHT - White DIP - Dual Colors Green GSP - Graphite MOS - Metallic Silver	GA - Galvanized Anchor Bolt SF - Single Flood DF - Double Flood DUP - Duplex Flood LPS - Linear Vents Green CSX - Pole Preparation for PMS Occupancy Sensor

Tenon Mount - See pole selection guide for tenon and fixture/bracket matches.

SSON

SSII

No Mounting Holes - Use with:
• BKA XISE & BKA XISF
• BKA X4ISF & BKA X5ISF

Internal Slip-Filter*
SSII

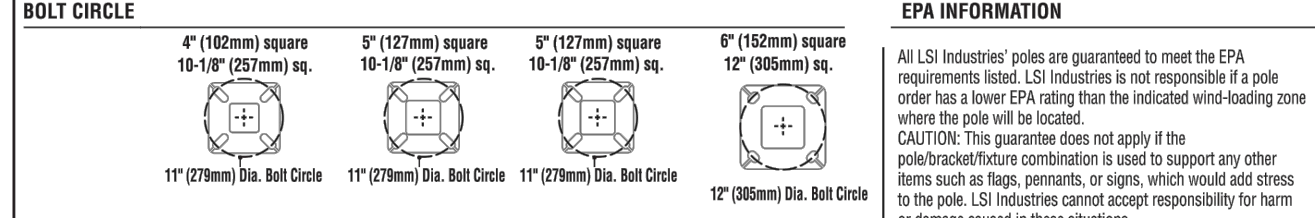
Consult Pole Selection Chart on opposite page

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number	Order Number
48C - 4" Square Base Cover	12565CLA	12565CL
58C - 5" Square Base Cover	12568CLA	12568CL
WRD - Weathering Drip/Rainhead	12566CLA	12566CL
ERM - Weathering Duplex/Rainhead	12566CLA	12566CL
CR - Ground Fault Circuit Interrupter	12568CLA	12568CL
MS - Mounting Hole Plug (5 pack) use with 5" traditional pattern	12568CLA	12568CL
MDS - Mounting Hole Weather-Proof Decal for use with 5" traditional pattern	34310	34310CL

FOOTNOTES:

- See Area Lighting Brackets - Bolt-on and XASX/AMX Area Lighting Brackets for Internal Slip-Filter brackets.
- Pole heights will have +/- 1/2" tolerance.
- See Roof Lighting Brackets section for choice of F90 brackets.



EPA INFORMATION

All LSI Industries' poles are guaranteed to meet the EPA requirements listed. LSI Industries is not responsible if a pole order has a lower EPA rating than the indicated working load zone when the pole will be located.

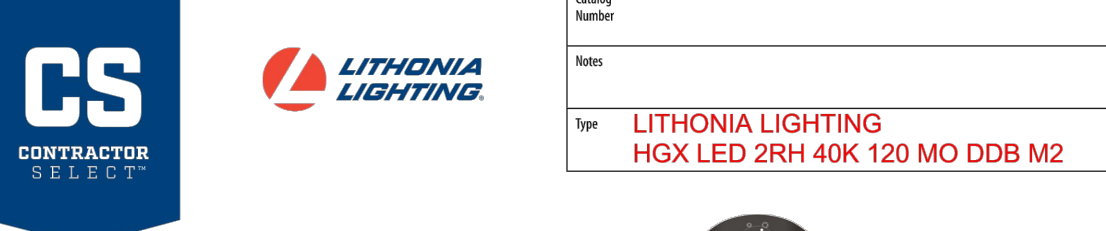
NOTE: Pole calculations include a 1.3 gust factor over steady wind velocity. Example: pole designed to withstand 80 MPH steady wind will withstand gusts to 104 MPH. EPA is for locations 100 miles away from hurricane coast line. Contact LSI for other areas. Note: Hurricane coast lines are the Atlantic and Gulf of Mexico coastal areas. For applications in Florida or Canada, consult factory.

NOTE: Pole calculations include a 1.3 gust factor over steady wind velocity. Example: pole designed to withstand 80 MPH steady wind will withstand gusts to 104 MPH. EPA is for locations 100 miles away from hurricane coast line. Contact LSI for other areas. Note: Hurricane coast lines are the Atlantic and Gulf of Mexico coastal areas. For applications in Florida or Canada, consult factory.



Project Name _____ Fixture Type _____

Catalog # _____



Contractor Select[™] HGX LED Security Floodlighting

HGX LED 2RH 40K SW20 PE WH M2
HGX LED 2RH ALO SW20 120 PR DOB M2

The HomeGuard LED family of security flood lights, built with rugged die-cast aluminum construction, are long lasting, energy efficient solutions for replacing incandescent PAR lamp fixtures. Mounted under the eave or on the wall, these luminaires provide reliable security lighting in residential and commercial applications (PAR unit wall mount only).

FEATURES:

- Up to 2750 Lumens
- Adjustable lumens output (ALO) option
- Switchable CCT Option with warm, cool, or daylight settings
- Adjustable photocell option
- IP65 rated and non-motion sensor SKUs

Nomenclature	UPC	Q Code	Lumens	Line	High	Options		
HGX LED 2RH 40K 120 PDB	007899524156	*27FEE						
HGX LED 2RH 40K 120 WH	007899524170	*27FEE						
HGX LED 2RH ALO 120 PE DOB	007899524200	*27FEE	1750	15	2750	25	80	100
HGX LED 2RH ALO 120 PR DOB	007899524214	*27FEE						
HGX LED 2RH ALO SW20 120 PDB	007899524235	*27FEE	1800	15	80	2750	25	80
HGX LED 2RH ALO SW20 120 PE WH	007899524216	*27FEE						
HGX LED 2RH ALO SW20 120 PR DOB	007899524232	*27FEE	2700	21	80	3000	25	80
HGX LED 2RH ALO SW20 120 PR WH	007899525292	*27FEE						



CONTRACTOR SELECT HGX LED Page 1 of 2

OWP-FC-116-LED

LED Slimline Full Cut-Off Wall Pack Series

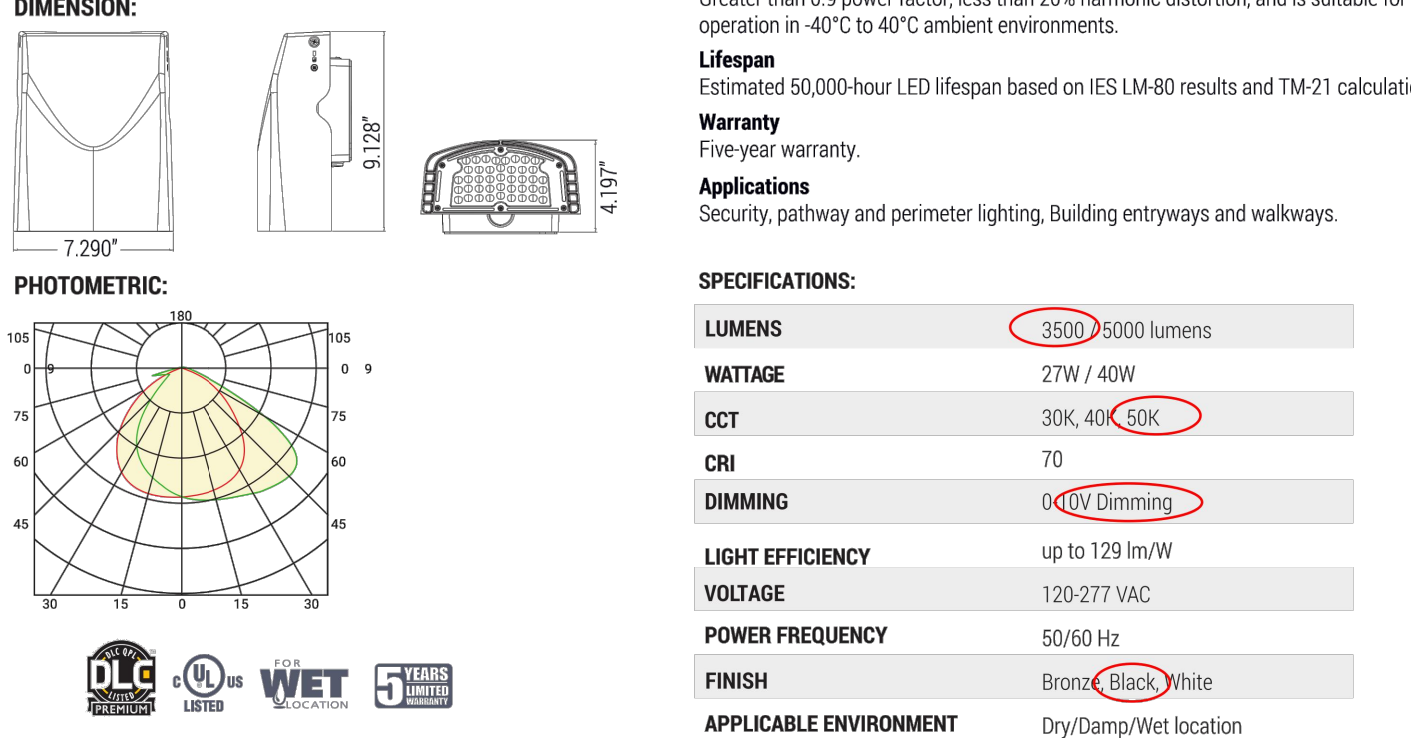
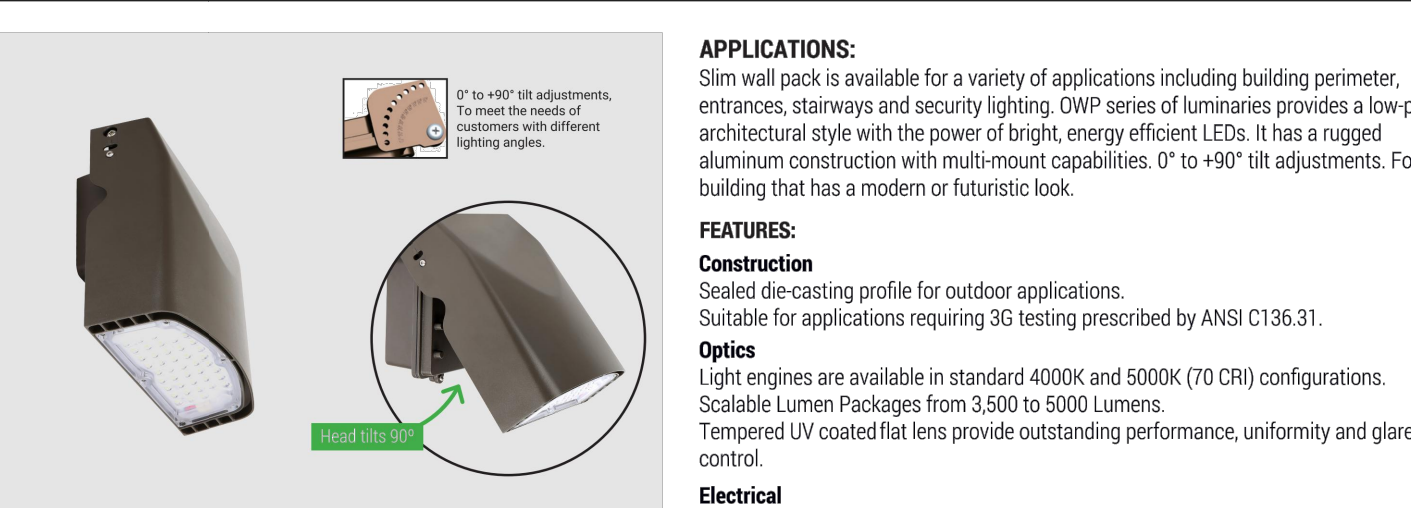
up to 40 Wattage / up to 5000 Lumens

Catalog Number: **ORACLE: OWP-FC-116-LED-3500L-DIM10-MVOLT-50K-BK**

Project Name: **Panda Express**

Note: **L-85 | Wall mount over Service Door**

Type: _____



Ordering Guide > Example: **OWP-FC-116-LED-5000L-MVOLT-40K-BZ**

OWP-FC-116-LED	3500L	DIM10	MVOLT	50K	BK
----------------	-------	-------	-------	-----	----

SERIES	PERFORMANCE	DIMMING	VOLTAGE	CCT	FINISH	ACCESSORIES
OWP-FC-116-LED	3500L - 5000 lumens	DIM10 - 0-10v dimming	MVOLT - 120/277V	35K - 3500K 40K - 4000K 50K - 5000K	BZ - Bronze BK - Black WH - White	WWPC - Photocell

Specifications and Dimensions subject to change without notice. ORACLE LIGHTING Submittal form is available at www.iuseefite.com Tel: 323-888-1973 | Fax: 323-888-1977

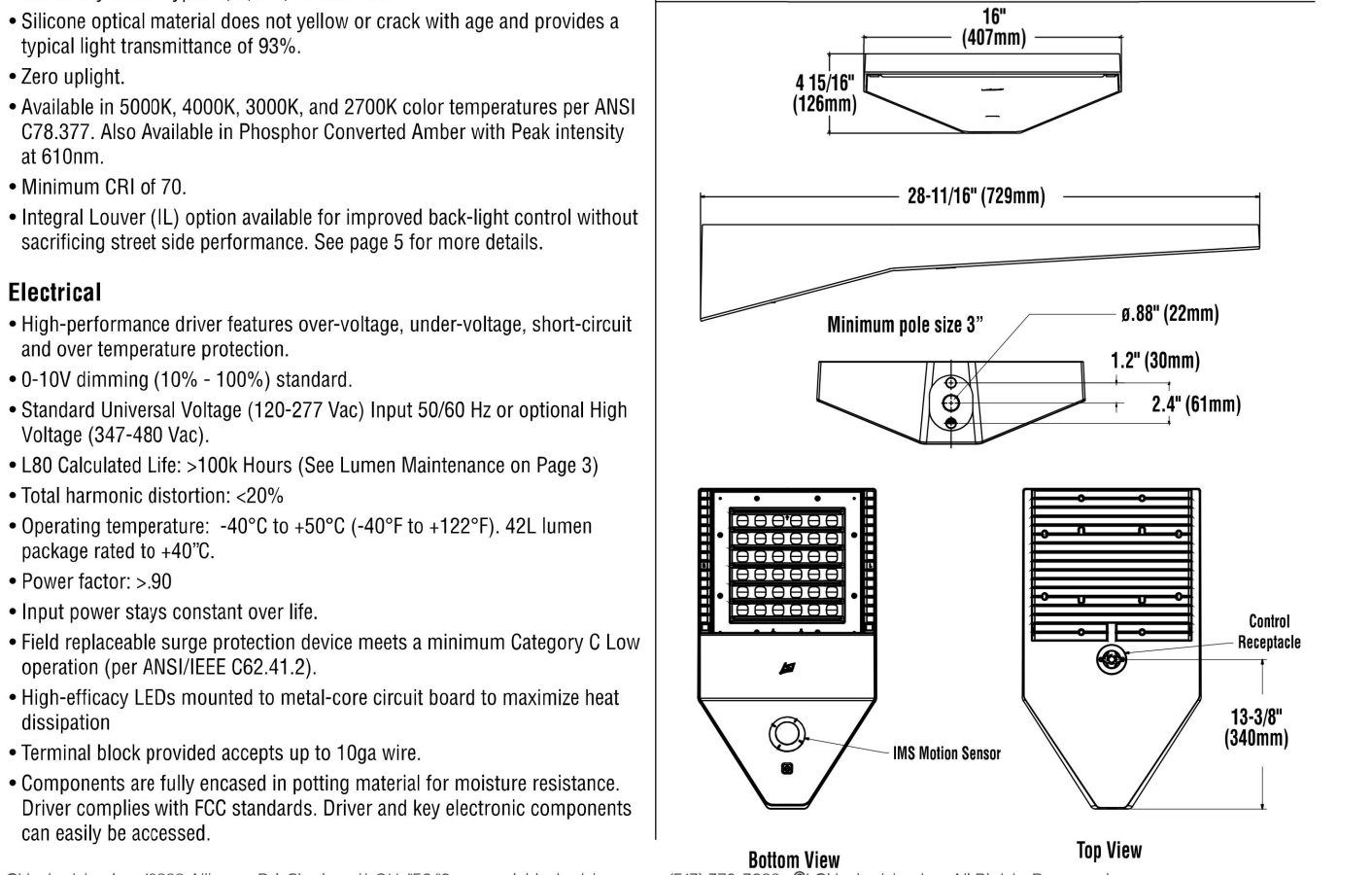
Catalog # : _____ Project : _____

Prepared By : _____ Date : _____

Slice Medium - SLM Outdoor LED Area Light



- Features & Specifications**
- Optical System**
- State-of-the-Art one-piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
 - Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT and FTA.
 - Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 95%.
 - Zero splaylight.
 - Available in 5000K, 4000K, 3000K, and 2700K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
 - Minimum CRI of 70.
 - Integral Louver (LL) option available for improved back-light control without sacrificing side performance. See page 5 for more details.
- Electrical**
- High-performance driver features over-voltage, under-voltage, short-circuit and over-temperature protection.
 - 0-10V dimming (10% - 100%) standard.
 - Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (247-480 VAC).
 - LED Calculated Life: >100K Hours (See Lumen Maintenance on Page 3)
 - Total harmonic distortion: <20%
 - Operating temperature: -40°C to +50°C (-40°F to 122°F), 42L lumen package rated to +40°C.
 - Power factor: > .90
 - Input cover stays constant over life.
 - Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
 - High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation
 - Terminal block provided accepts up to 10ga wire.
 - Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be replaced.



Bottom View Top View
LSI Industries Inc. 10001 Alliance Rd Cincinnati, OH 45242 | www.lsi-industries.com | (513) 373-3200 | LSI Industries Inc. All Rights Reserved

Slice Medium - SLM Outdoor LED Area Light

Features & Specifications (Cont.)

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square poles.
- Luminaire is proudly manufactured in the U.S. and imported parts.
- IP66 rated luminaire protects integral components from harsh environments.
- 30 rated for ANSI C136.31 high vibration applications.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 30 lbs in carton.

Performance

ELECTRICAL DATA (AMPS)*

Lumens	Watts	120V	200V	240V	277V	347V	480V
42L	68.2	0.6A	0.3A	0.3A	0.2A	0.2A	0.1A
12L	90.1	0.8A	0.4A	0.4A	0.3A	0.3A	0.2A
18L	140.9	1.3A	0.7A	0.6A	0.5A	0.4A	0.3A
24L	189.9	1.6A	0.8A	0.8A	0.7A	0.5A	0.4A
30L	248.6	2.1A	1.2A	1.0A	0.9A	0.7A	0.5A
36L	317.8	2.6A	1.5A	1.3A	1.1A	0.9A	0.7A
42L	383.4	3.2A	1.8A	1.6A	1.4A	1.1A	0.8A

Wireless Controls System

To make this fixture AirLink ready, simply order one of the following options:

- The integrated **Wireless Lighting Controller: ALSC** or **ALSC-H** (see ordering guide) as the controls option, or
- Integrated **Wireless Controller** option (above) with integrated motion sensor. **ALSC** (ordering guide for mounting heights) or
- The 7-pin Photoelectric Control **Receptacle: CR7P** as the controls option; and either the **5-Pin** or **7-Pin Twist Lock Controller: ALSC UNV TL** or **ALSC UNV TLT** as an accessory

RECOMMENDED LUMEN MAINTENANCE (24-42L)

Ambient	Initial*	25 hr*	50 hr*	75 hr*	100 hr*
O-40 C	100%	100%	97%	94%	92%

RECOMMENDED LUMEN MAINTENANCE (9-18L)

Ambient	Initial*	25 hr*	50 hr*	75 hr*	100 hr*
O-50 C	100%	96%	91%	87%	83%

DELIVERED LUMENS*

Package	Distribution	Delivered Lumens	Efficiency	RoHS Rating	Wattage
42L	Z	2988	80	80-16-01	
	D	2788	80	80-16-01	
	L	4196	83	80-16-01	
	M	4059	86	80-16-01	
	S	3508	88	80-16-01	74
36L	FT	3892	79	80-16-02	
	FTA	3715	79	80-16-02	
	FTA	3997	80	80-16-02	
	FTA	2584	87	80-16-01	
	FTA	2599	73	80-16-02	
12L	Z	4738	46	80-16-01	
	D	3869	78	80-16-02	
	L	3330	62	80-16-01	
	M	3913	69	80-16-02	100
	FT	4719	46	80-16-02	

*LED Chips are frequently updated therefore values are nominal



All ideas, designs, arrangements and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

ISSUE DATE:

NO.	DESCRIPTION	DATE
1	P&Z PRE-APP MEETING	03-13-24
2	P&Z SITE PLAN REVIEW	06-28-24
3		
4		
5		
6		
7		
8		
9		
10		

DRAWN BY: _____ OF: _____

PANDA PROJECT #: D23353
PANDA STORE #: S8-25-D33353
ARCH PROJECT #: JCDT22-0452-00

PRELIMINARY FOR SITE PLAN REVIEW NOT FOR CONSTRUCTION




Proposed Sign Package
Kalamazoo, MI.
4300 West Main Street

01.15.24

Revisions:

- 1.17.24 | Added sign details, and sign quantities
- 1.18.24 | Revised page order, corrected sign labels
- 2.19.24 | Removed S4 & S5; Re#'d remaining signs; Updated site plan & code info
- 2.20.24 | Updated placement of S1 on facade
- 3.11.24 | Added S4 and S5. Updated site plan, code, and re-labeled signs.


APPROVED 3-12-24

C81230

Code Summary

SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S1	SHORT STOREFRONT	LETTERSET	3'-1 7/8"	10'-9 1/4"	42.58	34	8.58
S2	LONG STOREFRONT	LOCKUP LOGO	6'-0"	6'-0"	66.41	36	30.41
S3	DRIVE THRU ELEVATION	LOCKUP LOGO	6'-0"	6'-0"	66.41	36	30.41
S4	DRIVE THRU ELEVATION	VERTICAL LETTERSET	9'-3 13/16"	2'-8 1/8"	30.41	24.9	5.51
S5	DRIVE THRU ELEVATION	FCO LETTERS	3'-0 1/2"	1'-3 3/4"	5.51	3.78	1.73
S10	STREET	PYLON	18'-0"	8'-0"	100	74.9	25.1

Code Allowance

Wall: 1sf per ft of building front
NTE 150sf
F/S: 1sf per ft of frontage
NTE 100sf

Elevation

Long Storefront 66'-5" x 1 = 66.41
Short Storefront 42'-7" x 1 = 42.58

Allowed

Elevation

Drive Thru 66'-5" x 1 = 66.41
Rear 42'-7" x 1 = 42.58

Allowed



Revisions:

Removed S4&5; Revised per new site plan I DM 2/19/24	X
Added S4 and S5 - RF - 3/11/24	X
	X

File Location: Drive/Clients/ STND ___
CSTM ___

AS CR EN

Date: 01/12/24

Designer: PB PM: SN

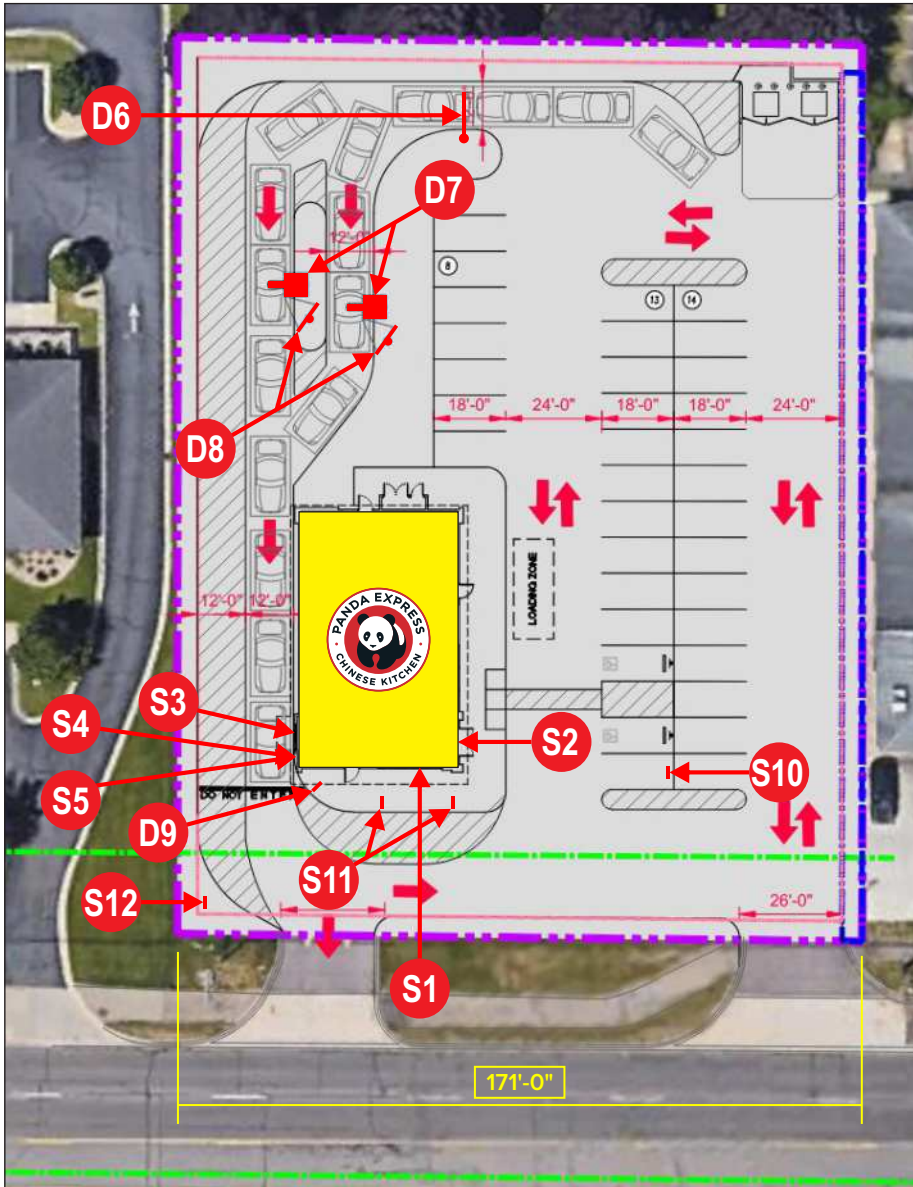
City/State: Kalamazoo, MI.

Address: 4300 West Main Street

Drawing # **C81230-2**

OE # **159087**

Site Plan



PANDA EXPRESS



S1 2'-0" stacked red letterset

S2

S3 6' Lock Up Logo

S4 PANDA EXPRESS
17" vertical letterset

S5

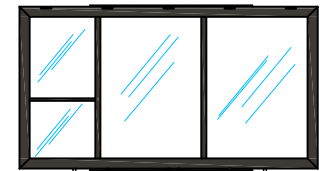
THANK YOU

D6



D7

Qty 2



D8 Qty 2

D9



S10



S11 Qty 2



S12



Revisions:	
Removed S4&5; Re#d; Used new site plan I DM 2/19/24	X
Re-labeled signs, added S4 and S5 - RF - 3/11/24	X
	X

File Location:	STND
Drive/Clients/	CSTM
<input type="checkbox"/> AS	<input type="checkbox"/> CR
<input type="checkbox"/> EN	

Date: 01/12/24

Designer: PB PM: SN

City/State: Kalamazoo, MI.

Address: 4300 West Main Street

Drawing # **C81230-2**

OE # **159087**

Elevations

Scale | 3/32" = 1'



SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S1	SHORT STOREFRONT	LETTERSET	3'-1 7/8"	10'-9 1/4"	42.58	34	8.58



Revisions:	
Revised to 24" set to match code chart DM 2/19/24	X
centered letterset - JAS - 2.20.24	X
	X

File Location:	STND_ X
Drive/Clients/	CSTM
<input checked="" type="checkbox"/> AS	<input type="checkbox"/> CR
<input type="checkbox"/> EN	

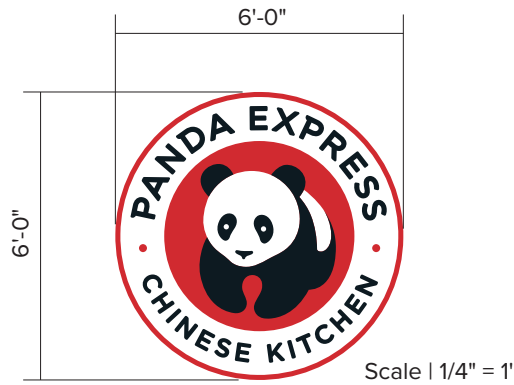
Date:	01/12/24
Designer:	PB
PM:	SN

City/State:	Kalamazoo, MI.
Address:	4300 West Main Street

Drawing #	C81230-2
OE #	159087

Elevations

Scale | 3/32" = 1'



SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S2	LONG STOREFRONT	LOCKUP LOGO	6'-0"	6'-0"	66.41	36	30.41



Revisions:		
X		X
X		X
X		X
X		X

File Location: STND_X
 Drive/Clients/ CSTM

AS CR EN

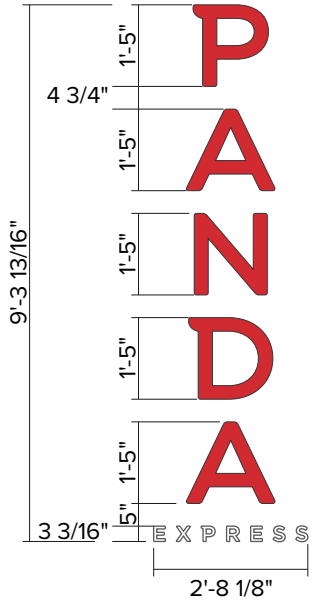
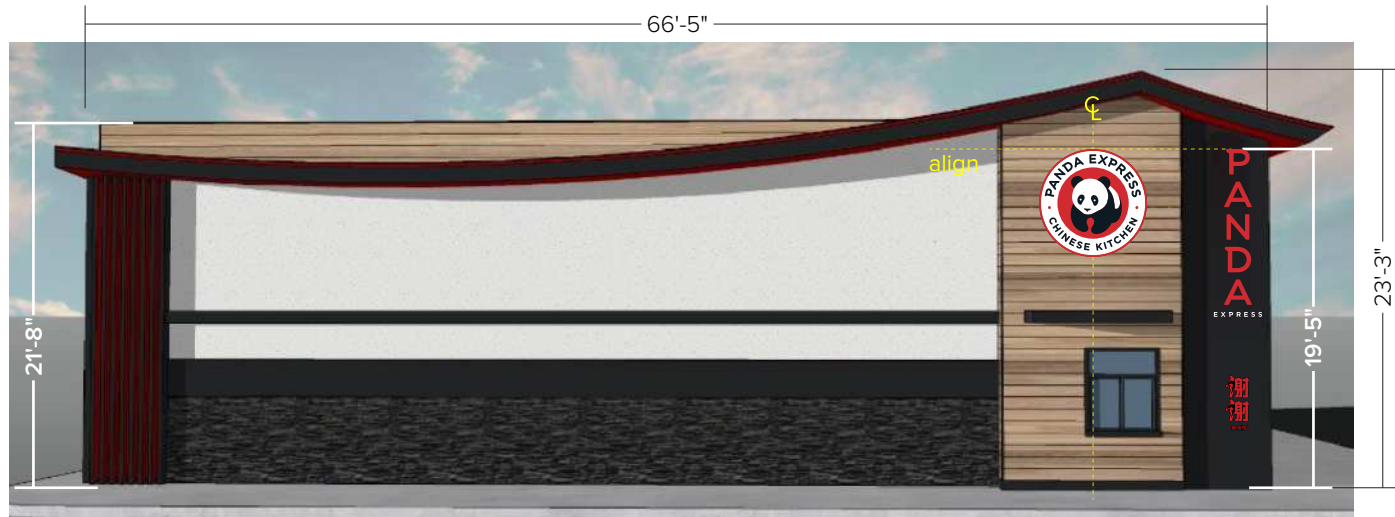
Date: 01/12/24
 Designer: PB PM: SN

City/State: Kalamazoo, MI.
 Address: 4300 West Main Street

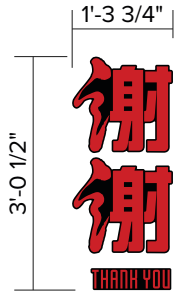
Drawing # **C81230**
 OE # **159087**

Elevations

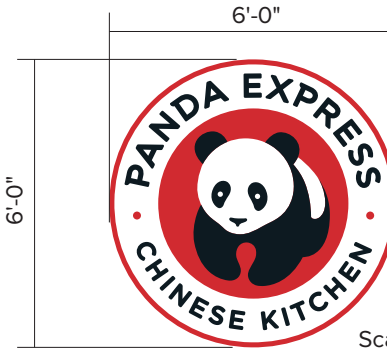
Scale | 3/32" = 1'



Scale | 1:40



Scale | 1:30



Scale | 1/4" = 1'

SIGN	LOCATION	TYPE	HEIGHT	WIDTH	ALLOWED	PROPOSED	BALANCE
S3	DRIVE THRU ELEVATION	LOCKUP LOGO	6'-0"	6'-0"	66.41	36	30.41
S4	DRIVE THRU ELEVATION	VERTICAL LETTERSET	9'-3 13/16"	2'-8 1/8"	30.41	24.9	5.51
S5	DRIVE THRU ELEVATION	FCO LETTERS	3'-0 1/2"	1'-3 3/4"	5.51	3.78	1.73



Revisions:

Removed Chinese graphics - RF - 1/18/24	X
Removed S4 vertical letter set DM 2/19/24	X
Added S4 and S5 - RF - 3/11/24	X

File Location: STND_X
Drive/Clients/ CSTM

AS CR EN

Date: 01/12/24

Designer: PB PM: SN

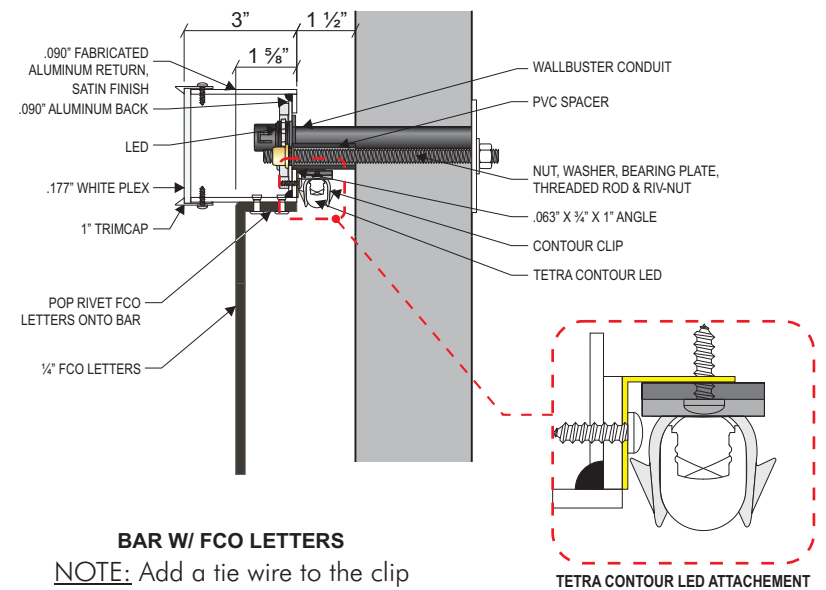
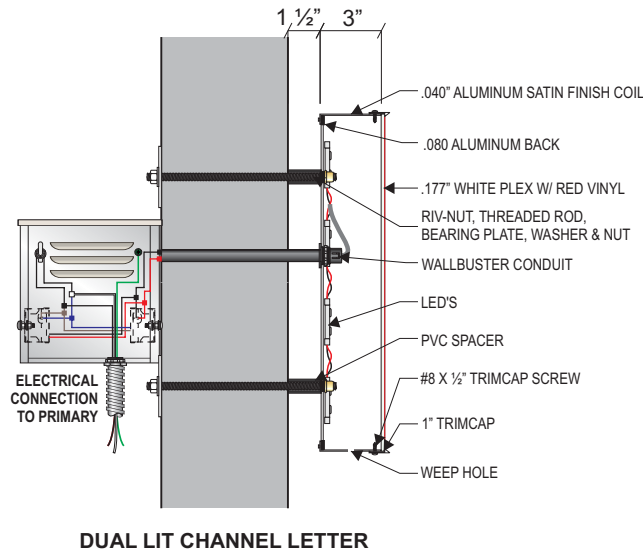
City/State: Kalamazoo, MI.

Address: 4300 West Main Street

Drawing # **C81230-3**




OE # **159087**

Install new face-lit illuminated letterset pin-mounted to wall






GENERAL SPECIFICATIONS:

FACE-LIT LETTERS:

-  FACES..... .177" WHITE #7328 PLEX W/ 1ST SURFACE 3M #3630-33 RED
-  TRIMCAP.... 1" BLACK
-  RETURNS.. .040" X 3" BLACK / WHITE COIL PAINTED TO MATCH BLACK 7C, SATIN FINISH
- BACKS..... .080" ALUMINUM

BAR W/ FCO LETTERS:

-  FACES......177" WHITE #7328 PLEX
-  TRIMCAP.....1" WHITE
-  RETURNS......125" X 3" FABRICATED WHITE COIL RETURN, SATIN FINISH
- BACKS......090" ALUMINUM, INTERIOR PAINTED WHITE

DOWNLIGHT....063" BRAKE FORMED ALUMINUM BOX BEHIND THE BAR WITH DOWNLIGHT LENS AND WHITE LED'S

EXPRESS.....25" FCO ALUMINUM LETTER PAINTED TO MATCH BLACK 7C SATIN FINISH

BAR W/ FCO LETTERS
NOTE: Add a tie wire to the clip that holds the LED strip in



	A	B	C	D	E	F	SF (F x B)
PE-CL-24R	2'-0"	10'-9 1/4"	7 1/4"	6'-1 3/8"	2 3/8"	3'-1 7/8"	34.0

Revisions:	
Added to BB AD 1:17:24	X
Revised to 24" letterset DM 2/19/24	X
X	X

File Location:	STND _X
Drive/Clients/	CSTM
 AS	 CR
 EN	

Date:	01/12/24
Designer:	PB
PM:	SN

City/State:	Kalamazoo, MI.
Address:	4300 West Main Street

Drawing #	C81230-1
OE #	159087

S2

Face Illuminated Lockup Logo - Qty: 2

S3

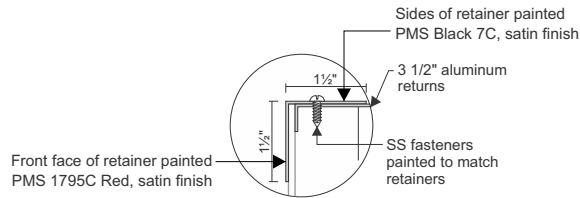
Install new face-lit lockup logo as shown.

GENERAL SPECIFICATIONS:

FACES:..... .177" WHITE POLYCARBONATE W/APPLIED VINYL GRAPHICS

RETAINER:.... 1" BLACK TRIMCAP / 1 1/2" ALUMINUM RETAINER (SEE DETAILS BELOW)

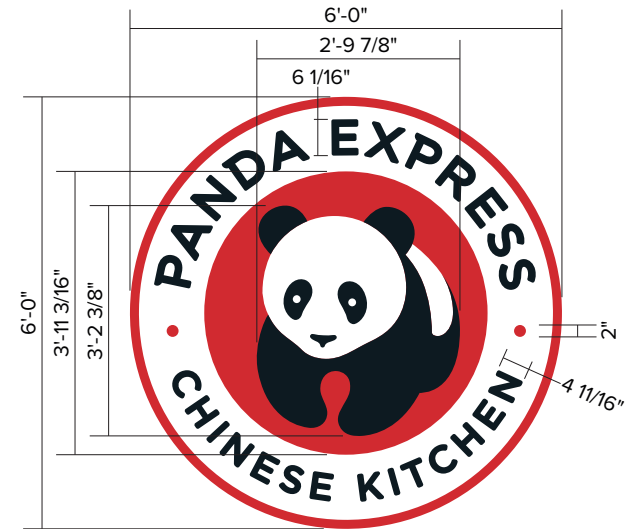
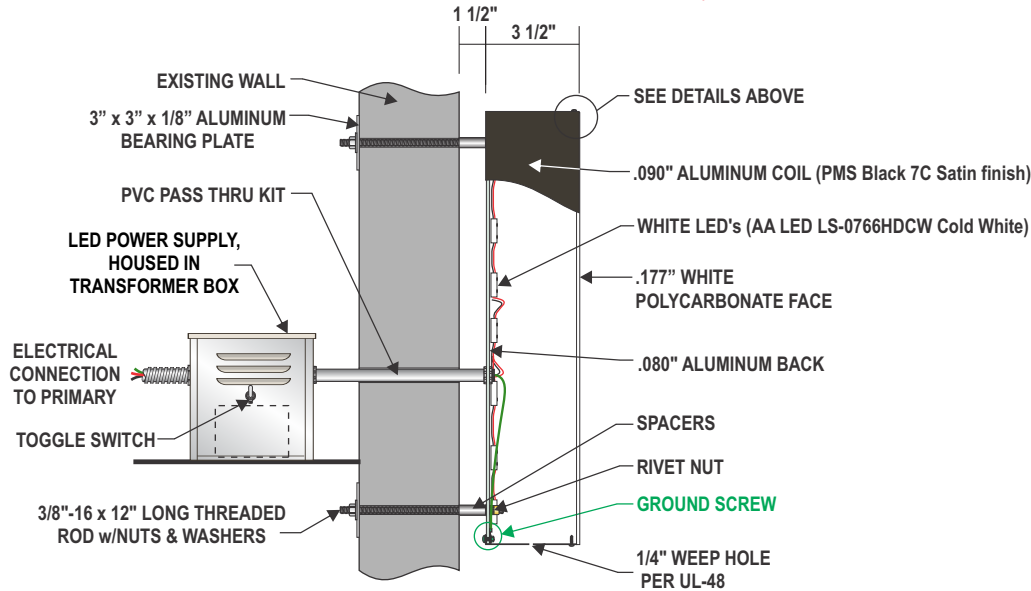
RETURNS:... .040" X 3" BLACK / WHITE COIL PAINTED TO MATCH BLACK 7C SATIN FINISH



COLOR SPECIFICATIONS FOR FACE



(MANUFACTURING NOTE: ALL LOGO SIZES 3'-6" AND UNDER WILL HAVE A 3" RETURN DEPTH)



PE-FL-72-FULL
SCALE | 3/8" = 1
SQ FT = 36'



Revisions:		
Added to BB AD 1:17:24	X	
Corrected sign label - RF - 1/18/24	X	
Removed S5 from BB DM 2/19/24	X	

File Location:	STND_X
Drive/Clients/	CSTM
AS	CR
EN	

Date:	01/12/24
Designer:	PB
PM:	SN

City/State:	Kalamazoo, MI.
Address:	4300 West Main Street

Drawing #	C81230-2
OE #	159087




S4

Vertical Face-Lit Letterset - (Qty: 1)

Install new face-lit illuminated letterset with aluminum FCO tagline.

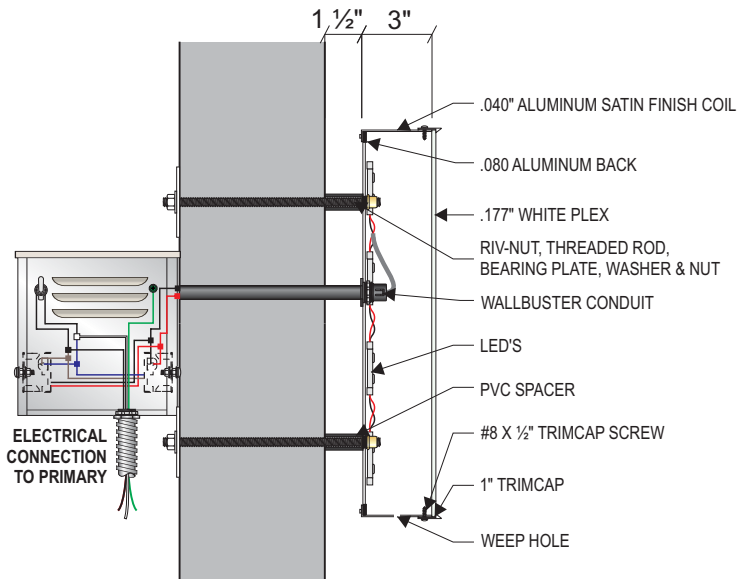
GENERAL SPECIFICATIONS:

FACE-LIT LETTERS:

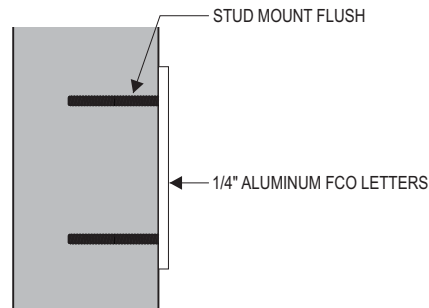
-  FACES..... .177" WHITE #7328 PLEX WITH 1ST SURFACE W/ 1ST SURFACE 3M #3630-33 RED
-  TRIMCAP.... 1" BLACK
-  RETURNS.. .040" X 3" BLACK / WHITE COIL PAINTED TO MATCH BLACK 7C, SATIN FINISH
- BACKS..... .080" ALUMINUM

FCO LETTERS:

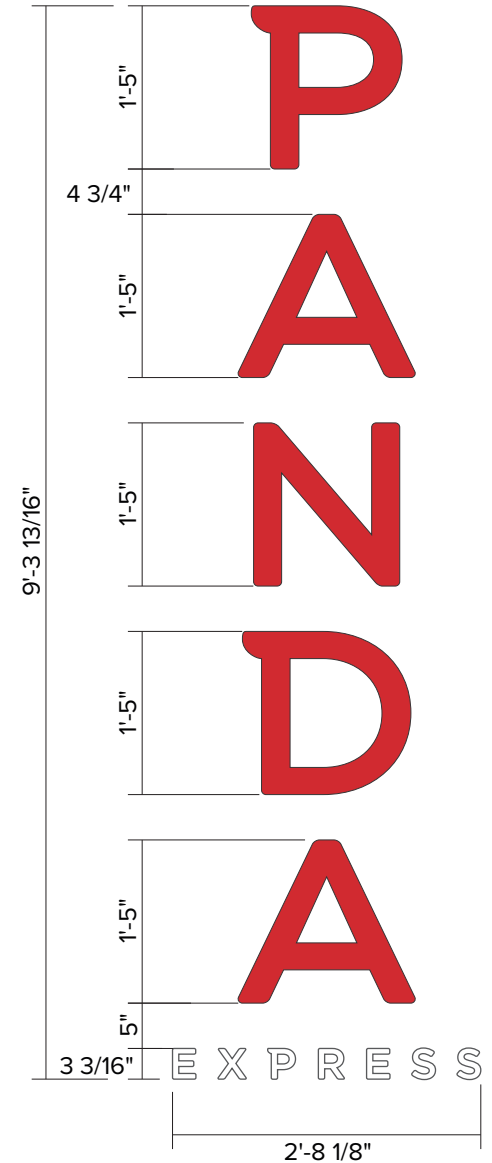
-  EXPRESS.....1/4" THICK ALUMINUM PLATE LETTERS PAINTED N202SP WHITE, SATIN FINISH



FACE LIT CHANNEL LETTER



FCO "EXPRESS" LETTERS



SCALE | 1:20
SQ FT | 24.9

Revisions:		
Added to brand book - RF - 3/11/24	X	
X	X	
X	X	

File Location:	STND_X
Drive/Clients/	CSTM
 AS	 CR
 EN	

Date: 01/12/24
Designer: PB PM: SN

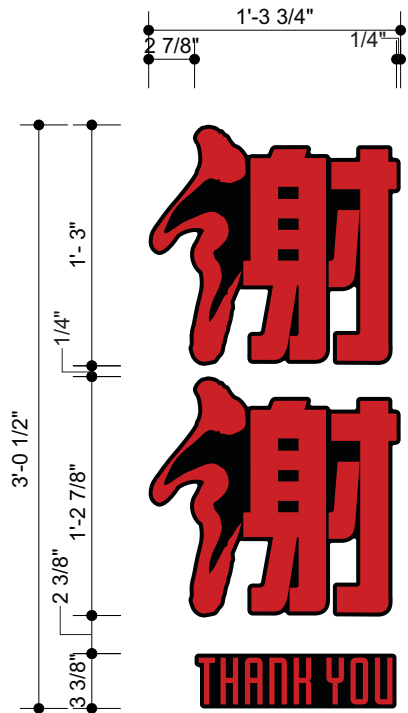
City/State: Kalamazoo, MI.
Address: 4300 West Main Street

Drawing # **C81230**
OE # **159087**

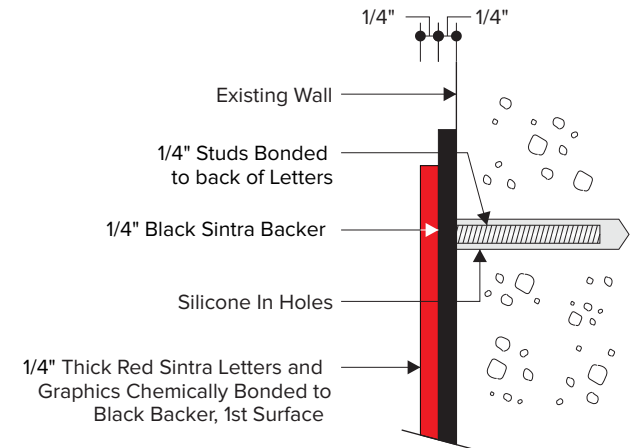
S5

FCO Letters - By Others

1/4" thick FCO lettersets to be provided and installed by others. **NOTE: Artwork is required for production.**



- Black Iron Ore - SW7069
- Red - Pantone 200C
- Clear Coat TBD



SCALE | 1" = 1'-0"



Revisions:	
Added to brand book - RF - 3/11/24	X
X	X
X	X

File Location:	STND
Drive/Clients/	CSTM
<input type="checkbox"/> AS	<input type="checkbox"/> CR
<input type="checkbox"/> EN	

Date:	01/12/24
Designer:	PB
PM:	SN

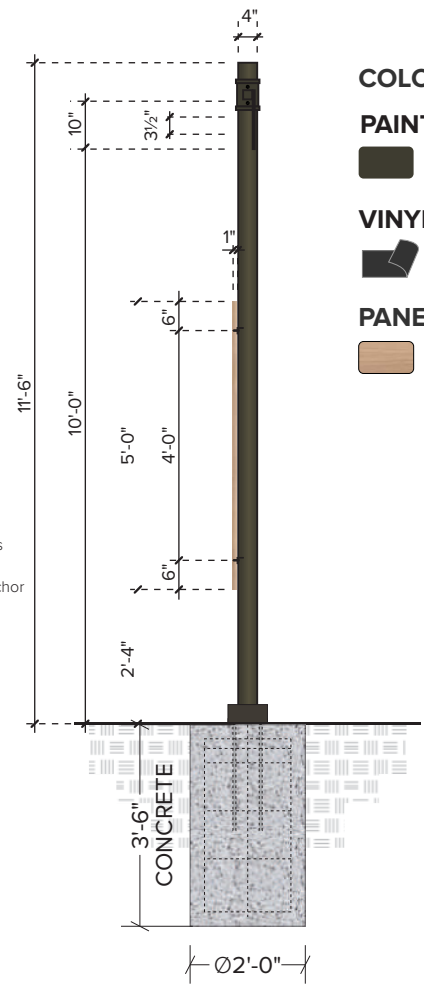
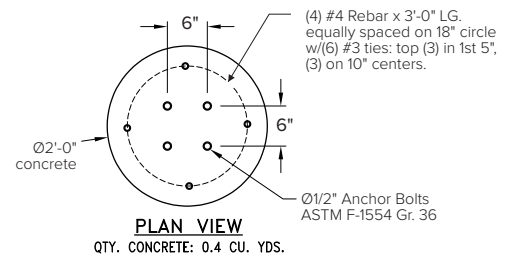
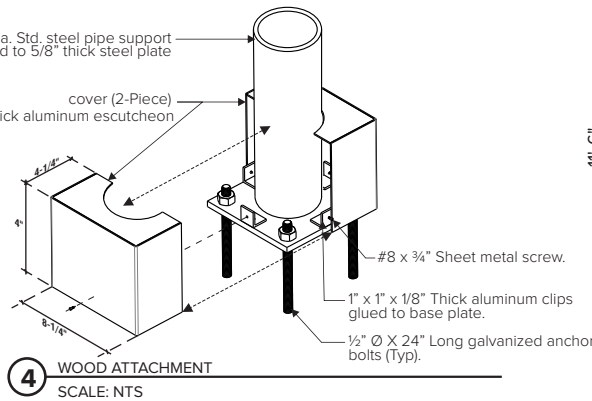
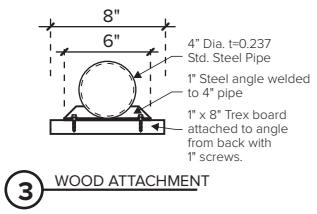
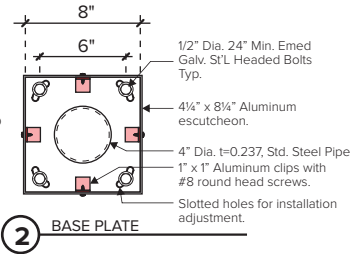
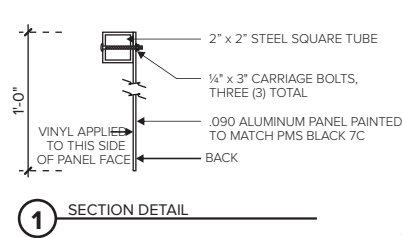
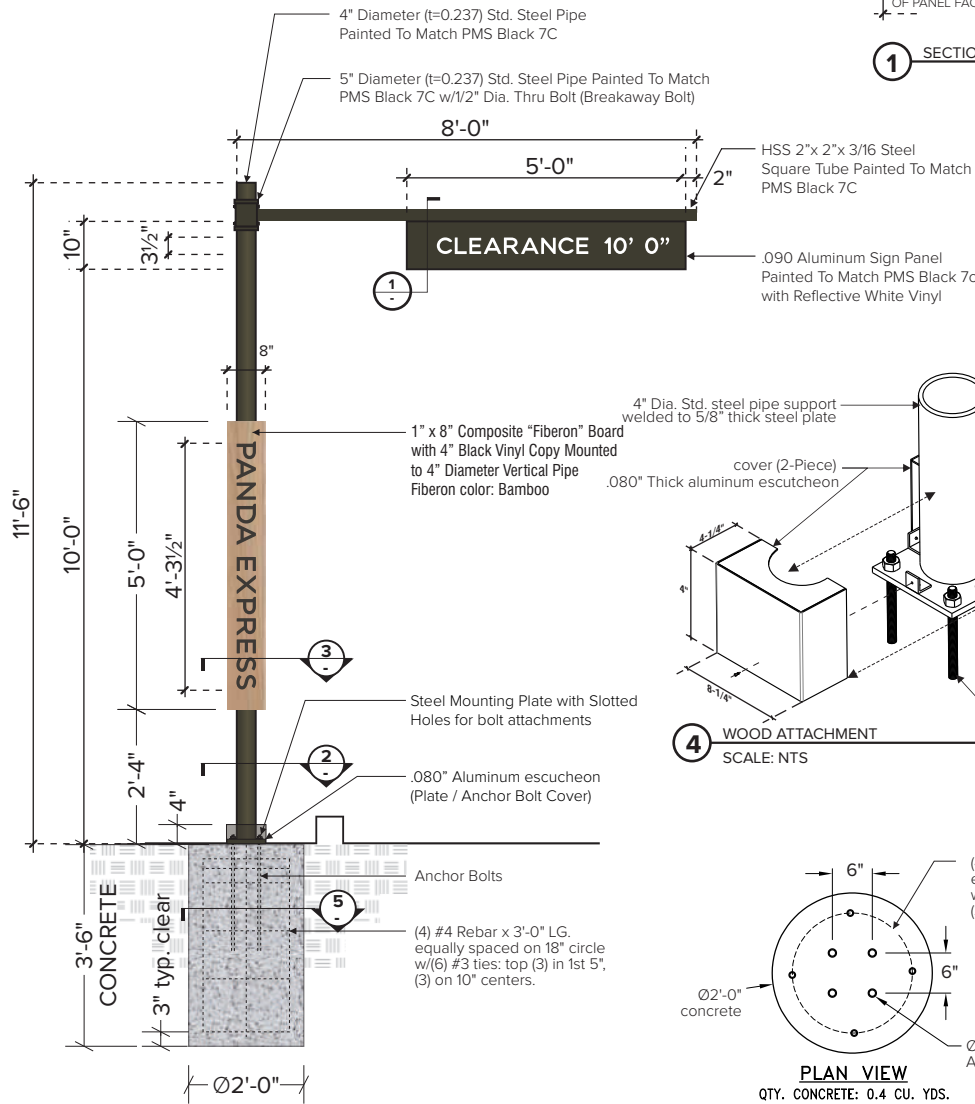
City/State:	Kalamazoo, MI.
Address:	4300 West Main Street

Drawing #	C81230
OE #	159087

D6

DT-L Clearance Bar - (Qty: 1)

Install new DT-L Clearance Bar sign. Refer to site plan for exact location.
NOTE: Wind Load: 115 mph wind speed / Snow Load: 60 PSF ground snow load.



- COLOR SPECIFICATIONS**
- PAINT**
 PMS Black 7C
- VINYL**
 Reflective Black Film
- PANEL COLOR**
 Bamboo

J NON-ILLUMINATED CLEARANCE BAR
 QUANTITY: ONE (1) SET REQUIRED SCALE: 1:40

5 FOOTING DETAIL
 SCALE: NTS

SIDE VIEW - NON-ILLUMINATED CLEARANCE BAR
 SCALE: 1:40



Revisions:	
Revised from D6 to D4 DM 2/19/24	X
X	X
X	X

File Location:	STND .X
Drive/Clients/	CSTM
AS	CR
EN	

Date: 01/12/24
 Designer: PB PM: SN

City/State: Kalamazoo, MI.
 Address: 4300 West Main Street

Drawing # **C81230-1**
 OE # **159087**

D7

DT COD Canopy - (Qty: 2)

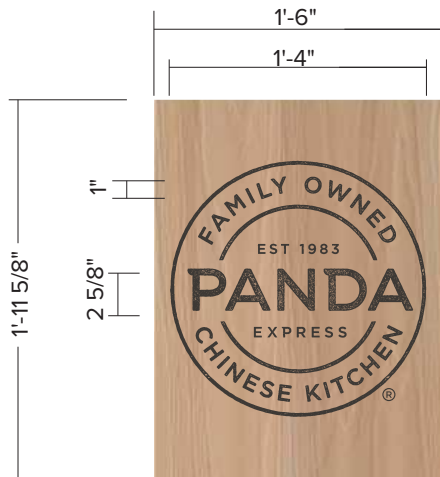
Install new DT COD Canopy per site plan for exact location.
NOTE: Wind Load: 115 mph wind speed / Snow Load: 60 PSF Ground Snow Load

COLOR SPECIFICATIONS

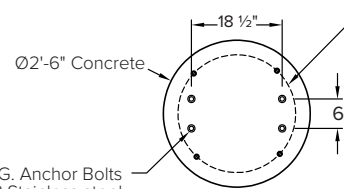
- Composite "Fiberon" Board
- Clear Vinyl Digitally Printed (FAMILY SEAL)
- Opaque Black Vinyl (ORDER HERE TEXT ONLY)

CABINET CANOPY PAINT COLORS

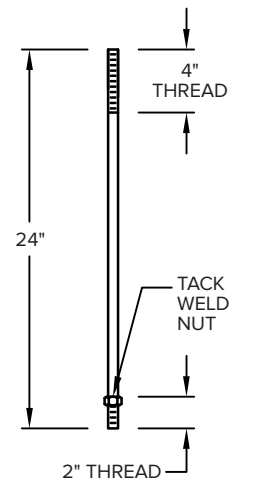
- Aluminum painted to match MS Black 7C
- Aluminum painted to match Matthews Brushed Silver



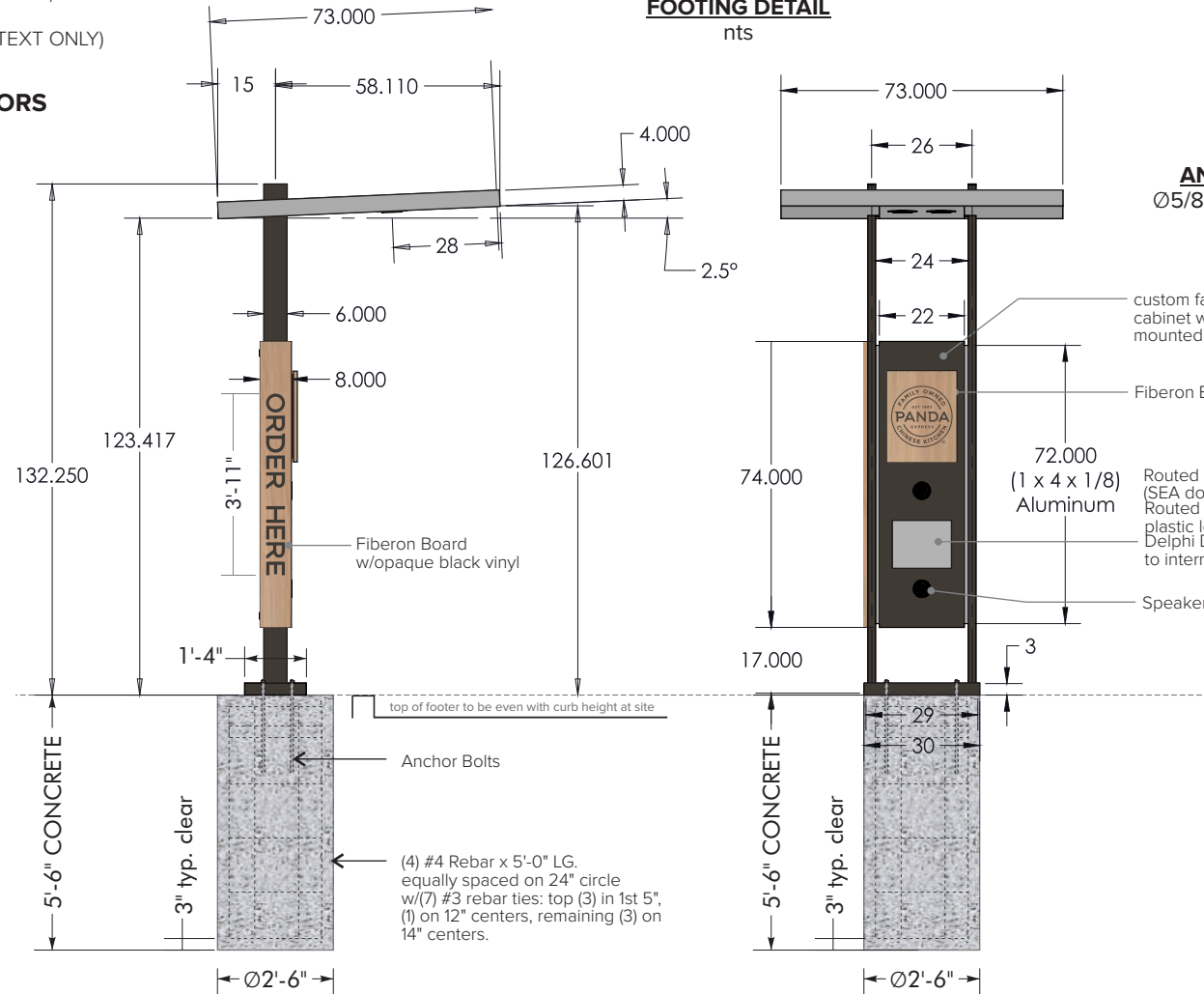
Fiberon Panel
SCALE: 1" = 1'-0"



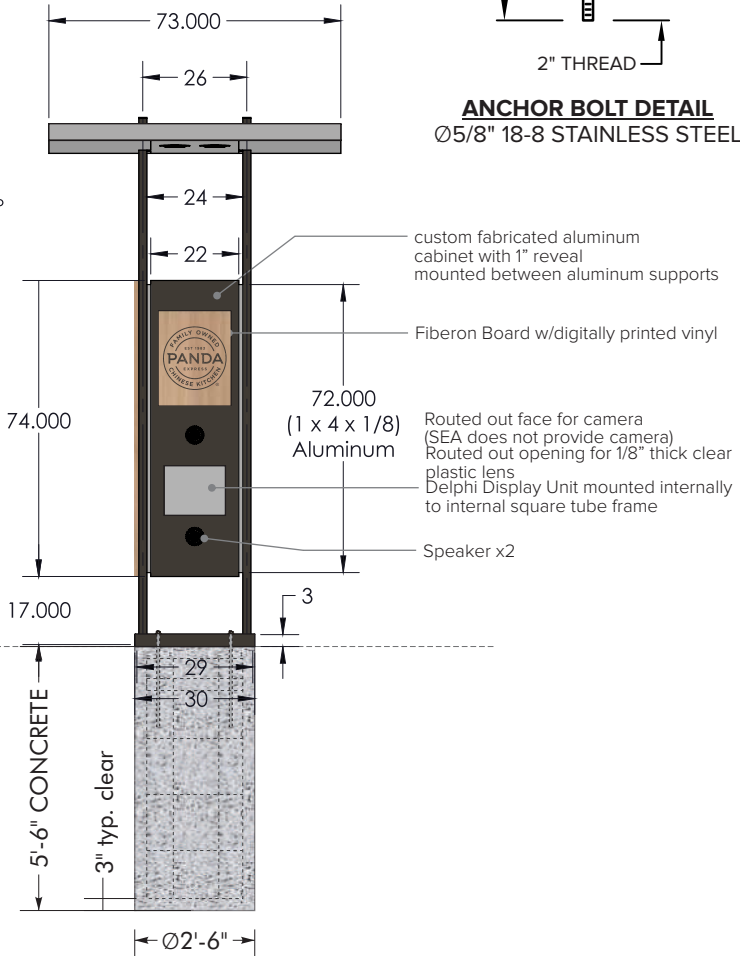
PLAN VIEW
QTY. CONCRETE: 1.0 CU. YDS.
FOOTING DETAIL
nts



ANCHOR BOLT DETAIL
Ø5/8" 18-8 STAINLESS STEEL



SCALE: 1/4" = 1'-0"



- custom fabricated aluminum cabinet with 1" reveal mounted between aluminum supports
- Fiberon Board w/digitally printed vinyl
- 72.000 (1 x 4 x 1/8) Aluminum
- Routed out face for camera (SEA does not provide camera)
- Routed out opening for 1/8" thick clear plastic lens
- Delphi Display Unit mounted internally to internal square tube frame
- Speaker x2



Revisions:		
Updated qty AD 1/17/24	X	
Revised from D7 to D5 DM 2/19/24	X	
X	X	

File Location:	STND_X
Drive/Clients/	CSTM
■ AS	△ CR
⚙️ EN	

Date:	01/12/24
Designer:	PB
PM:	SN

City/State:	Kalamazoo, MI.
Address:	4300 West Main Street

Drawing #	C81230-2
OE #	159087

D8

DT Menu Board - (Qty: 2)

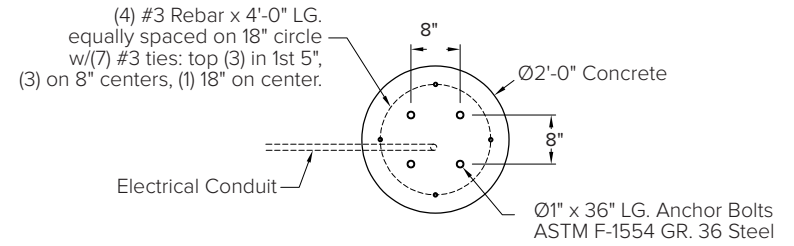
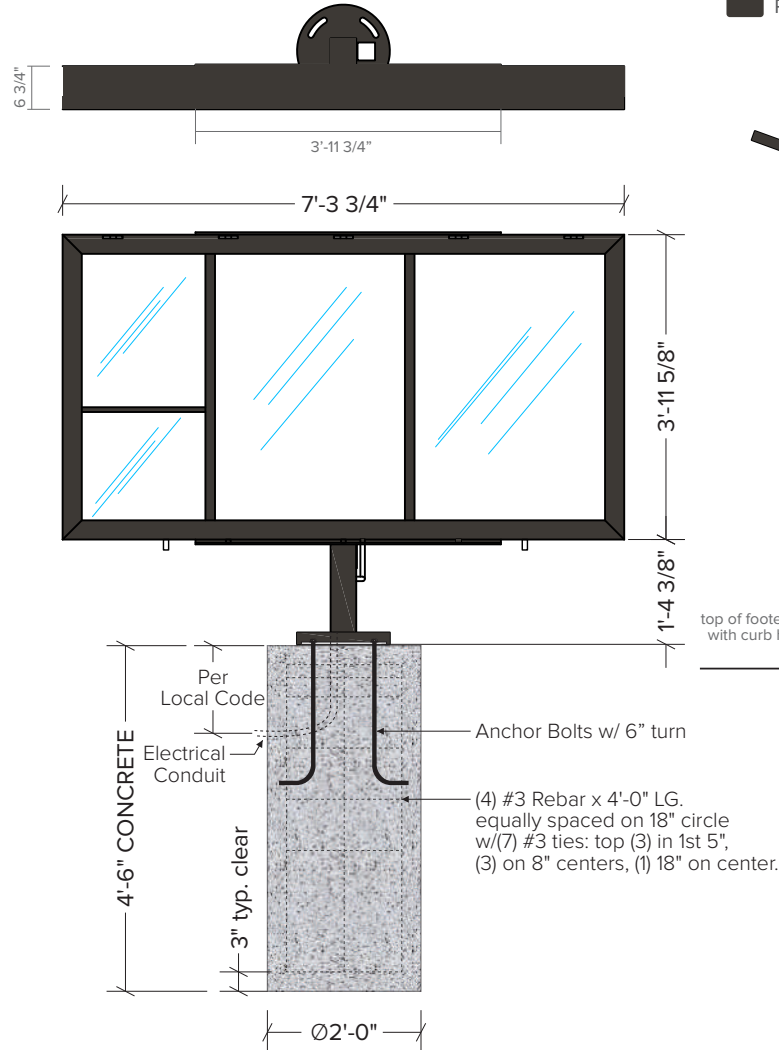
Install new DT Menu Board. Refer to site plan for exact location.

NOTE: Wind Load: 115 mph wind speed

COLOR SPECIFICATIONS

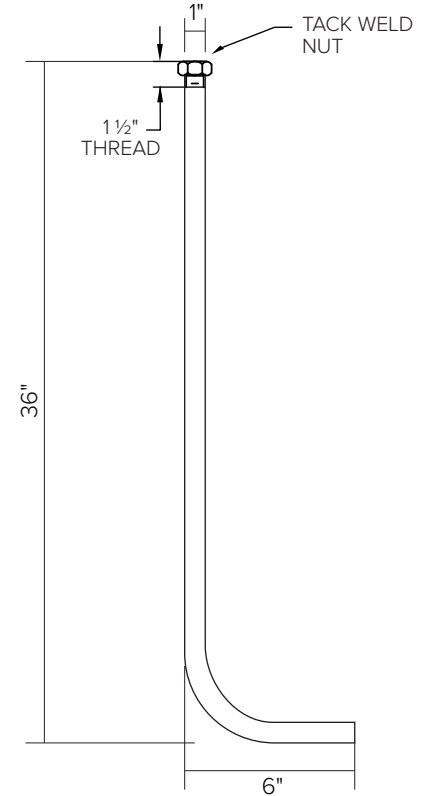
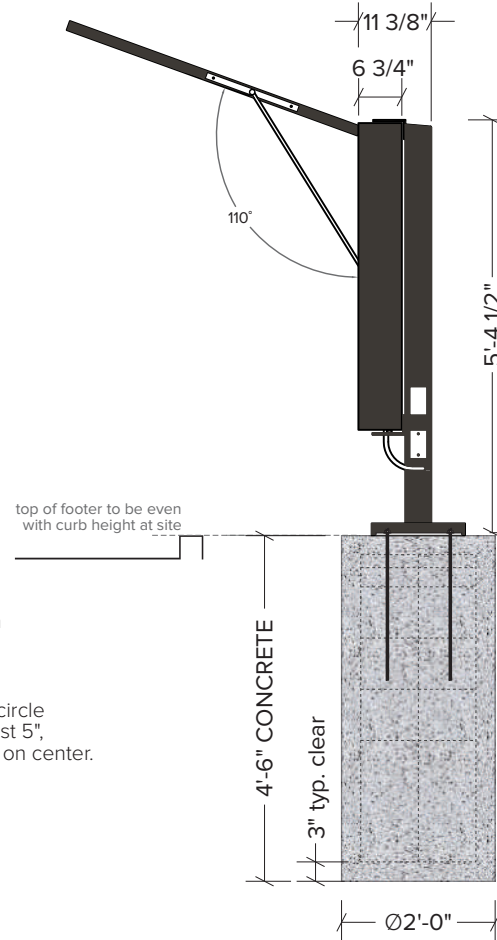
MAIN CABINET

Painted to match PMS Black 7C



PLAN VIEW
QTY. CONCRETE: 0.5 CU. YDS.

FOOTING DETAIL
nts



ANCHOR BOLT DETAIL (NTS)
Ø1" ASTM F-1554 GR. 36 STEEL

SCALE | 1:30



Revisions:	
Updated qty AD 1.17.24	X
Revised from D8 to D6 DM 2/19/24	X
X	X

File Location:	STND_ X
Drive/Clients/	CSTM
AS	CR
EN	

Date: 01/12/24

Designer: PB PM: SN

City/State: Kalamazoo, MI.

Address: 4300 West Main Street

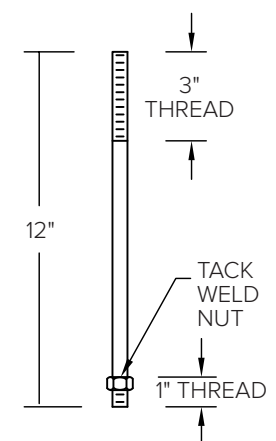
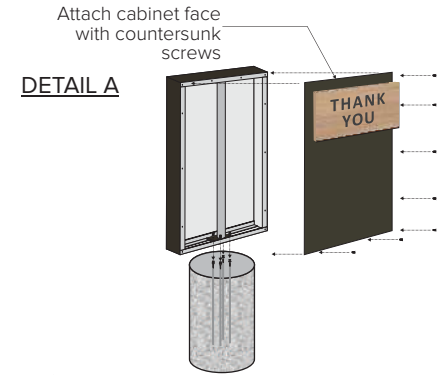
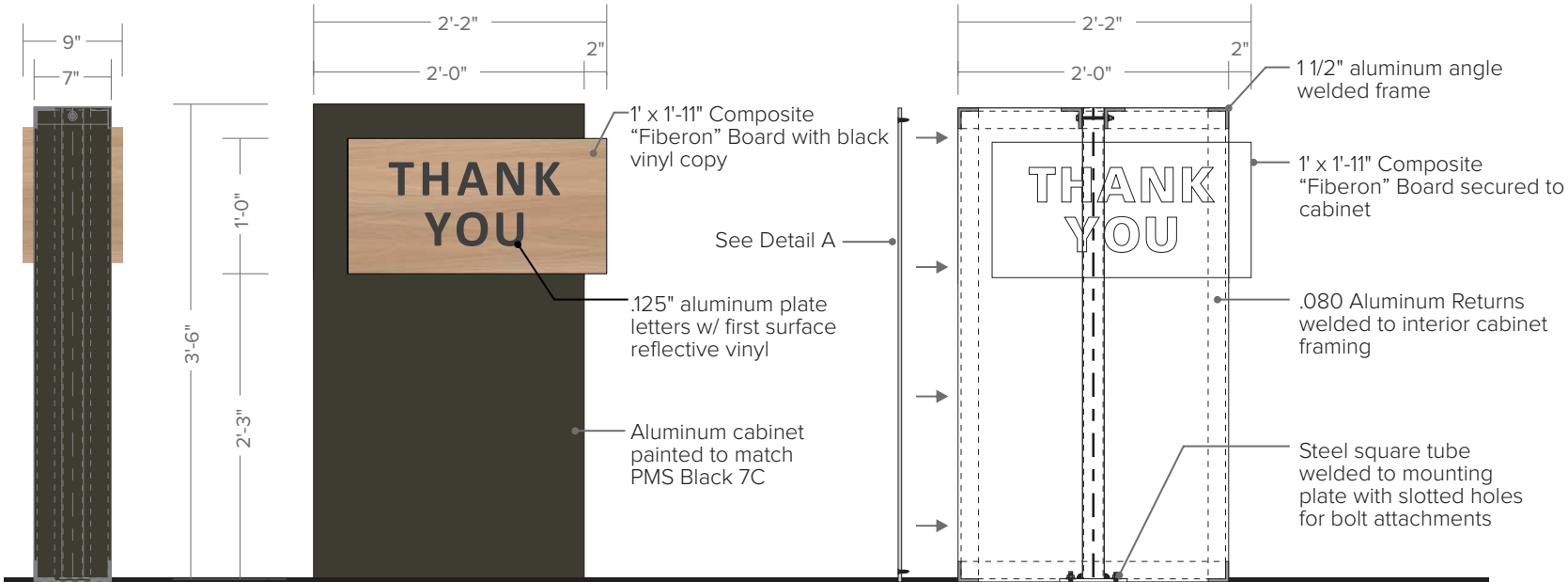
Drawing #	C81230-2
OE #	159087

D9

Non-Illuminated Directional - (Qty: 1)

Install new non-illuminated directional. Refer to site plan for exact location.

NOTE: Wind Load: 115 mph wind speed



ANCHOR BOLT DETAIL
Ø3/8" 18-8 STAINLESS STEEL

Scale | 3/4" = 1'

BACK SIDE



COLOR SPECIFICATIONS

PAINT

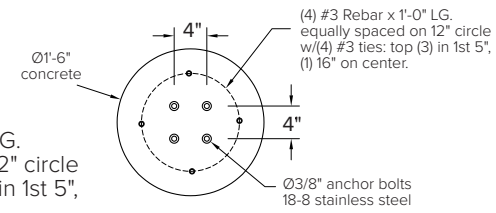
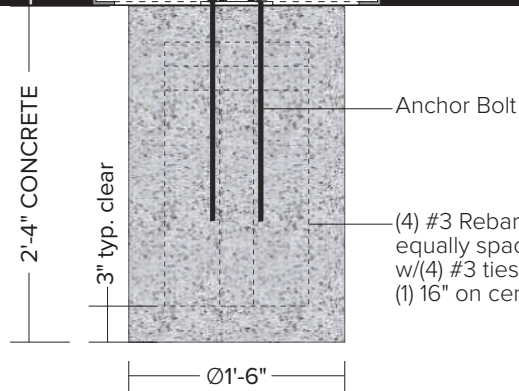
PMS Black 7C

VINYL

Reflective Black Film

PANEL COLOR

Bamboo



PLAN VIEW
QTY. CONCRETE: 0.2 CU. YDS.

FOOTING DETAILS
nts



Revisions:	
Revised from D9 to D7 DM 2/19/24	X
X	X
X	X

File Location: STND_X
Drive/Clients/ CSTM

AS CR EN

Date: 01/12/24

Designer: PB PM: SN

City/State: Kalamazoo, MI.

Address: 4300 West Main Street

Drawing # **C81230-1**

OE # **159087**

S10

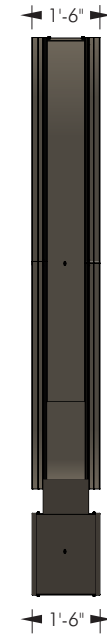
Illuminated Pylon Sign - Qty: 1

Install new internally illuminated double-faced pylon sign. Refer to site plan for exact location.

REFER TO CONSTRUCTION DRAWINGS FOR MANUFACTURING AND INSTALL DETAILS



Left Elevation
Scale: 1:50



COLOR SPECIFICATIONS

MAIN CABINET

- .080" Aluminum fabricated cabinet
Color: to match Pantone Black 7C
- Cladding painted to match
Pantone Black 7C

MAIN CABINET FACE

- White Panagraphics III
flexible face material
- 3M Scotchcal #3630-33 Red
*Note: red vinyl ring on perimeter must
be applied after face is stretched*
- 3M #180C-22 Black

"DRIVE THRU" CABINET

- .080" break-formed aluminum cabinet
Routed and backed

"DRIVE THRU" COPY

- Bayer Makrolon .177" #7328
White LD Polycarbonate

POLE COVER

- .080" Aluminum painted
to match Pantone Black 7C

	A	B	C	D	E	F	G	H	I	J	K	L	M	SF
PE-PYL-8	8'-0"	8'-0"	8 1/8"	2 11/16"	6 1/4"	5'-3 3/8"	4'-3 9/16"	8 5/8"	1'-6 1/4"	7'-2 5/8"	2'-4 7/8"	7 7/8"	10'-0"	74.98

(AxB) + (IxJ)



Revisions:	
created const. drawing EZA 01.23.24	X
Revised from S10 to S8 DM 2/19/24	X
X	X

File Location:	STND
Drive/Clients/	CSTM <input checked="" type="checkbox"/>
<input type="checkbox"/> AS	<input checked="" type="checkbox"/> CR
<input type="checkbox"/> EN	

Date: 01/12/24

Designer: PB PM: SN

City/State: Kalamazoo, MI.

Address: 4300 West Main Street

Drawing #	C81230-2
OE #	159087

S11

Drive Thru Parking Panel | PE-Park-DT

Qty: 2 (panels), 2 (plate mounted posts)


Preparation: Remove any old signs or obstructions.

Manufacture: Manufacture a .125" aluminum panel painted Akzo-Nobel Black (satin finish). Apply the lockup logo as shown below. The lockup logo to be 3M 680-10 White Scotchlite Reflective White vinyl digitally printed to match Pantone 711 C Red and Pantone Black C.

Installation: Install the new panels to the plate mounted post

COLOR SPECIFICATIONS

 3M #680-10 White Scotchlite reflective vinyl

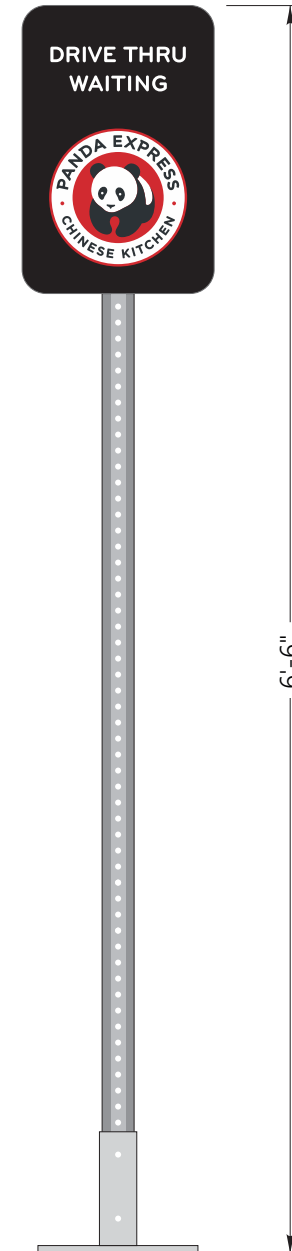
 Background painted to match Akzo-Nobel Black, satin finish

 Digitally printed graphics on 3M #680-10 White Scotchlite reflective vinyl to match Pantone 711C Red and Pantone Black C






PE-Park-DT
Scale: 1:8

Plate Mounting:
For mounting to concrete or paved surfaces. Cut post down to 6'-6" and insert into surface mount base. Secure post to base with two 5/16 x 2 1/4" bolts and nuts. Install base in concrete using (4) 1/2" concrete anchors. Install base in asphalt using (4) 1/2" x 14" steel spikes.



DTP-Post-Plate
Scale: 1" = 1'-0"

Revisions:	
Revised from S11 to S9 DM 2/19/24	X
X	X
X	X

File Location:	STND_X
Drive/Clients/	CSTM
 AS	 CR
 EN	

Date:	01/12/24
Designer:	PB
PM:	SN

City/State:	Kalamazoo, MI.
Address:	4300 West Main Street

Drawing #	C81230-1
OE #	159087

S12

Online Order Pickup Panel | PE-Park-OOP



Qty: 1 (panel), 1 (plate mounted post)

Preparation: Remove any old signs or obstructions.

Manufacture: Manufacture a .125" aluminum panel painted Akzo-Nobel Black (satin finish). Apply the lockup logo as shown below. The lockup logo to be 3M 680-10 White Scotchlite Reflective White vinyl digitally printed to match Pantone 711 C Red and Pantone Black C.

Installation: Install the new panel to the plate mounted post

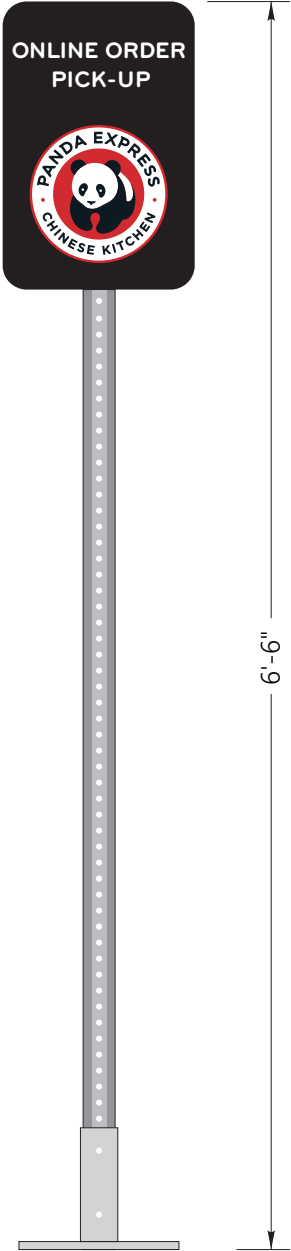
COLOR SPECIFICATIONS

-  3M #680-10 White Scotchlite reflective vinyl
-  Background painted to match Akzo-Nobel Black, satin finish
-  Digitally printed graphics on 3M #680-10 White Scotchlite reflective vinyl to match Pantone 711C Red and Pantone Black C






PE-Park-Online
Scale: 1:8

Plate Mounting:
For mounting to concrete or paved surfaces. Cut post down to 6'-6" and insert into surface mount base. Secure post to base with two 5/16 x 2 1/4" bolts and nuts. Install base in concrete using (4) 1/2" concrete anchors. Install base in asphalt using (4) 1/2" x 14" steel spikes.



DTP-Post-Plate
Scale: 1" = 1'-0"

Revisions:	
Revised to S10 & qty to 1 DM 2/19/24	X
X	X
X	X

File Location:	STND_X
Drive/Clients/	CSTM
 AS	 CR
 EN	

Date:	01/12/24
Designer:	PB
PM:	SN

City/State:	Kalamazoo, MI.
Address:	4300 West Main Street

Drawing #	C81230-1
OE #	159087